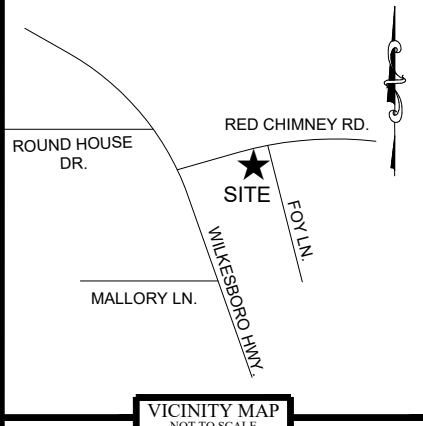


\*\*\*\*THIS PLOT PLAN DOES NOT REPRESENT A LAND SURVEY, WAS NOT PREPARED FOR RECORDATION, AND IS NOT SUITABLE FOR CONVEYING OF PROPERTY.\*\*\*\*

\*\*\*\*SUPERINTENDANT TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION\*\*\*\*

MINIMUM YARD AND BUILDING SETBACK CURRENT REQUIREMENTS PER R-20 ZONING

FRONT SETBACK	35'
CORNER LOT SIDE SETBACK	25'
SIDE YARD SETBACK	15'
REAR SETBACK	35'
MINIMUM YARD WIDTH	90'
MINIMUM LOT AREA SF	20,000 SQ. FT.
MINIMUM LOT AREA SF DWELLING WW/WATER	15,000 SQ.FT.



# PRELIMINARY

JULIA A. McDONALD, P.L.S.  
3556 CENTRE CIRCLE, SUITE A  
FORT MILL, SC 29715  
PHONE 844-865-5263

N.G.S. "ARMFIELD AZ MK"  
STATE PLANE COORDINATES:  
N:774,281.11' FT  
E:1,425,794.20' FT  
NAD 83/2011  
COMBINED FACTOR: 0.99988799  
"PUBLISHED"

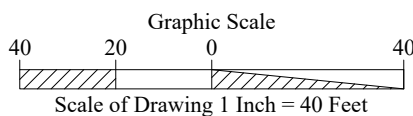
LINE	BEARING	DISTANCE
L1	N77°04'13"E	68.00'
L2	N79°19'39"E	75.00'
L3	N82°56'41"E	20.93'

N/F  
STEPHANIE NERISSA CLARK  
DB. 2217 PG. 1805  
PB. 27 PG. 114  
PID#4727729440.000  
ZONED R-20  
LOT 6

N/F  
CUSTOM HOMES BY LISA, INC  
DANNY FORREST McHARGUE  
STACEY J. McHARGUE  
DB. 3014 PG. 1523  
PB. 27 PG. 114  
PID#4727820483.000  
ZONED R-20  
LOT 7  
"VACANT LOT"  
21,159 SQ.FT.  
0.486 AC.

N/F  
RAYMOND D. WADDELL  
PHYLLISS A. WADDELL  
DB. 1886 PG. 474  
PB. 33 PG. 129  
PID#4727820256.000  
ZONED R-20  
LOT 4

- NOTES**
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES AND ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
  - ALL AREAS HAVE BEEN COMPUTED BY THE COORDINATE GEOMETRY METHOD.
  - THIS DRAWING IS NOT INTENDED TO CONFORM TO N.C. GS47-30 AND IS THEREFORE NOT FOR RECORDATION.
  - THIS MAP WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE EXAMINATION BY AN ATTORNEY AND MAY BE SUBJECT TO EASEMENTS, COVENANTS, RESTRICTIONS, AND OTHER MATTERS EITHER RECORDED OR IMPLIED. PHYSICAL LOCATIONS OF SANITARY SEWER MANHOLES ARE SHOWN FOR THIS SURVEY, SUBSURFACE CONNECTIVITY NOT VERIFIED. RECORDED/ UNRECORDED/ IMPLIED UTILITY EASEMENTS MAY EXIST.
  - TIES TO NGS MONUMENT SHOWN HEREON. NC GRID COORDINATES AS SHOWN HEREON ARE BASED UPON GPS OBSERVATIONS UTILIZING NCGS' NETWORK RTK SYSTEM WITH A SPECTRA 85 AND ARE REFERENCED TO THE NAD 83(NSRS 2011) DATUM. COMBINED FACTOR 0.99988799. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES (US SURVEY FOOT) UNLESS OTHERWISE NOTED.
  - SUBJECT PROPERTY IS CURRENTLY ZONED R-20 IRDELL COUNTY GIS. CONSULT WITH GOVERNING AGENCY FOR PREVAILING LAND DEVELOPMENT AND ZONING REQUIREMENTS PRIOR TO DESIGN OR CONSTRUCTION OF ANY IMPROVEMENTS.
  - NO PORTION OF THIS PARCEL LIES WITHIN A COMMUNITY OR FEMA FLOOD ZONE PER PANEL #3710472700J EFFECTIVE DATE: 3/18/2008.
  - IRON PINS ON ALL CORNERS UNLESS OTHERWISE NOTED.
  - THIS PROPERTY MAY BE SUBJECT TO MAXIMUM IMPERVIOUS AREA REQUIREMENTS. BEFORE MAKING ANY RENOVATIONS OR REPAIRS TO THIS PROPERTY CHECK WITH THE LOCAL PLANNING OR ZONING DEPARTMENT FOR ANY RESTRICTIONS OR REGULATIONS IN PLACE.



## LEGEND

- #4 REBAR SET
- IRF IRON REBAR FOUND AS LABELED LINES SURVEYED
- TIE LINES
- LINES NOT SURVEYED
- SETBACKS
- RW APPARENT RIGHT OF WAY
- EOP EDGE OF PAVEMENT
- OHW OVERHEAD WIRES
- UTILITY POLE
- △ NGS MONUMENT
- EOP EDGE OF PAVEMENT
- STORM DRAIN LINE
- DB DEED BOOK
- PB PLAT BOOK
- BG BELOW GROUND
- AG ABOVE GROUND
- SIGN
- RCP REINFORCED CONCRETE PIPE
- ⊗ WW WATER VALVE
- TPED TEL-COM PEDESTAL
- PPED POWER PED
- SPIGOT
- SD SIGHT DISTANCE
- CL CENTER LINE

## PLOT PLAN OF LOT 7 OF IRMA ACRES SECTION 1



3556 CENTRE CIRCLE, SUITE A  
FORT MILL, SC 29715  
OFFICE: 844.865.5263  
WWW.TIDEMARKLAND.COM  
NC FIRM C-4291 / SC COA 5654

PLOT PLAN MADE AT  
REQUEST OF:  
FOUR CORNERS OF CHARLOTTE

AS RECORDED IN:  
DEED BOOK: 3014 PAGE: 1523  
PLAT BOOK: 27 PAGE: 114

SITE ADDRESS:  
106 FOY LANE  
CITY OF STATESVILLE  
NORTH CAROLINA, 28208  
IRDELL COUNTY

1091-0143  
Job No.

KRS  
Drawn By

≥ 1:10,000+  
Error of Closure

1"=40'  
Drawing Scale

4727820483.000  
Tax Parcel Number

106 FOY LN  
Drawing File Name

1 of 1  
Sheet Number

6/4/2024  
Date  
6/5/2024  
REV: MOVE HOUSE