

HOLLAND TOWNHOMES

Architecture

BuenoBox Design

1837 Academy St.
 Charlotte, North Carolina 28205
 704-421-2693
 www.buenobox.com

Structural

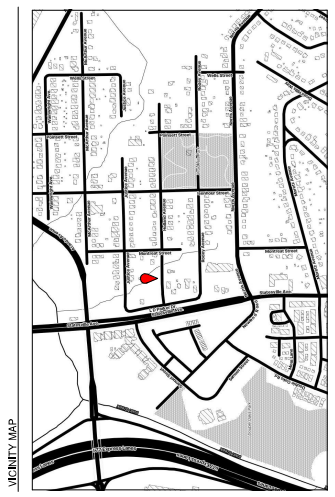
Struct Address

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ARCHITECTURAL SHEET LIST

- A000 COVER SHEET
- A001 PROJECT DATA
- A121 BASEMENT FLOOR PLAN - LEVEL 01
- A122 FLOOR PLAN - LEVEL 02
- A123 FLOOR PLAN - LEVEL 03
- A124 FLOOR PLAN - LEVEL 04
- A125 ROOF PLAN
- A500 EXTERIOR ELEVATIONS
- A501 EXTERIOR ELEVATIONS
- A502 EXTERIOR ELEVATIONS
- A503 EXTERIOR ELEVATIONS

STRUCTURAL SHEET LIST



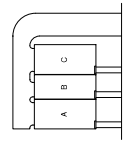
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DESIGN DEVELOPMENT CONSULTING
BUENOBX DESIGN, PLLC
 1837 Academy St.
 Charlotte, NC 28205
 (704) 366-0080

NOT FOR CONSTRUCTION FOR LAND DEVELOPMENT REVIEW

2024/03/12 2024/03/12 2024/03/12

Revision	Number	Date	Description
1	1	2/28/2024	ISSUE FOR PERMIT
2	2	2/28/2024	ISSUE FOR PERMIT



Building Key Map
 DATE: 2024/03/12
 ISSUE: LAND DEVELOPMENT
 A/E #: 2556
 ADDRESS: TBD

PLAN NORTH

TRUCK NORTH

HOLLAND TOWNHOMES

SHEET NAME
COVER SHEET

SHEET NUMBER
A000

2024/03/12
 THESE PLANS ARE THE PROPERTY OF BUENOBX DESIGN, PLLC. ALL RIGHTS ARE RESERVED. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUENOBX DESIGN, PLLC. THESE DRAWINGS ARE INTENDED FOR THE DESIGN OF THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. ALL RIGHTS RESERVED. THESE DRAWINGS ARE THE PROPERTY OF BUENOBX DESIGN, PLLC.



FINAL APPROVAL

FOR THE OFFICIALS OF THE CITY OF CHARLOTTE
THE PROJECT HAS BEEN REVIEWED AND APPROVED FOR CONFORMANCE WITH THE CITY OF CHARLOTTE ZONING AND DEVELOPMENT ORDINANCES.
THIS APPROVAL IS LIMITED TO THE SPECIFIC PROJECT AND SITE SHOWN ON THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND.
FOR ANY ADDITIONAL INFORMATION, PLEASE CONTACT THE CITY OF CHARLOTTE PLANNING AND ZONING DEPARTMENT AT 353 S. COLLETT STREET, CHARLOTTE, NC 28202. PHONE: 704.350.7100. FAX: 704.350.7101.



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MECLLENBURG COUNTY
www.mecpermit.com

TOWNHOUSE LAND FOR SALE PROJECT BUILDING CODE SUMMARY
(Except for common areas)

Name of Project: Holland Townhomes
Address: 101 HOLLAND AV
Proposed Use: Townhomes
Owner/Architectural Agent: Brent Duggan
Project Owned By: Brent Duggan
Code Enforcement Jurisdiction: Holland TPT
Other: None

Phone #: _____
Zip Code: _____

Project # / Sub-Project #: _____
E-Mail: _____

Code Enforcement Jurisdiction: Charlotte Davidson Hendersonville
 Matthews Mecklenburg Mint Hill Pineville

Total Number of Units in Project: 3
Total Number of Buildings in Project: 1

Unit Design Name: A
Units Below the different types, sizes, cost and addresses of unit types

Headed up to: 794
Attached Garage: No
Number of Bathrooms: 3.5
Deck sq. ft.: 73
Number of Bedrooms: 3
Number of Stairs: 1.5
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: SEE CC PERMITTING DATA SHEET
Plumbing Construction Cost of Unit: _____

Street Address: _____
Street Address: _____
Street Address: _____
Street Address: _____
Street Address: _____
Street Address: _____

Len Agent #: _____
Len Agent #: _____
Len Agent #: _____
Len Agent #: _____
Len Agent #: _____
Len Agent #: _____

Ind Unit: Y N
Ind Unit: Y N
Ind Unit: Y N
Ind Unit: Y N
Ind Unit: Y N
Ind Unit: Y N

LEAD DESIGN PROFESSIONAL: John Harvey
Tel: _____
Fax: _____
Address: _____
City: _____
Zip: _____
License #/Title: _____
Firm Name: _____
Address: _____
City: _____
Zip: _____
Other: _____

YEAR ENTRY ON CODE: _____

PERMISSION REQUIREMENTS
FURNISHING: Yes No
APPLIANCE: Yes No
STOVE: Yes No
REFRIG.: Yes No
DISH WASH.: Yes No
DRAINAGE: Yes No
SINK: Yes No
FLOORING: Yes No
WALLS: Yes No
CEILING: Yes No
LIGHTING: Yes No
PAINT: Yes No
EXTERIOR: Yes No
LANDSCAPE: Yes No
POND: Yes No
FLOOD HAZARD: Yes No
BUILDING HEIGHT (FEET): _____

BUILDING DATA
BIA: A BIA C D E F G H I J K L M N O P Q R S T U V W X Y Z

170' HOSE PULL
ALL UTILITY METERS IN BACK (TYP)

SITE SHOWN FOR REFERENCE ONLY.
SEE CIVIL FOR SITE DETAILS.

SITE - LEVEL 01 - NEW
1"16" = 1'-0"

TOWNHOUSE LAND FOR SALE PERMITTING DATA
Residential Form submitted: (900) 314-4333

Headed up to: _____
Attached Garage: No
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
Plumbing Construction Cost of Unit: _____

Street Address: _____
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Headed up to: _____
Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
Plumbing Construction Cost of Unit: _____

Street Address: _____
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Headed up to: _____
Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
Plumbing Construction Cost of Unit: _____

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Headed up to: _____
Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
Plumbing Construction Cost of Unit: _____

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Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
Plumbing Construction Cost of Unit: _____

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Ind Unit: Y N

Headed up to: _____
Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
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Ind Unit: Y N

Headed up to: _____
Attached Garage: _____
Number of Bathrooms: _____
Deck sq. ft.: _____
Number of Bedrooms: _____
Number of Stairs: _____
Construction Cost of Unit: _____
Building Construction Cost of Unit: _____
Mechanical Construction Cost of Unit: _____
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Ind Unit: Y N
Ind Unit: Y N
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Ind Unit: Y N
Ind Unit: Y N
Ind Unit: Y N

Revision Schedule

Rev	Revision Description	Revision Date
1	REVISED PER COMMENTS	1/25/2024
2	REVISED PER COMMENTS	1/25/2024
3	REVISED PER COMMENTS	1/25/2024
4	REVISED PER COMMENTS	1/25/2024
5	REVISED PER COMMENTS	1/25/2024
6	REVISED PER COMMENTS	1/25/2024
7	REVISED PER COMMENTS	1/25/2024
8	REVISED PER COMMENTS	1/25/2024
9	REVISED PER COMMENTS	1/25/2024
10	REVISED PER COMMENTS	1/25/2024
11	REVISED PER COMMENTS	1/25/2024
12	REVISED PER COMMENTS	1/25/2024
13	REVISED PER COMMENTS	1/25/2024
14	REVISED PER COMMENTS	1/25/2024
15	REVISED PER COMMENTS	1/25/2024
16	REVISED PER COMMENTS	1/25/2024
17	REVISED PER COMMENTS	1/25/2024
18	REVISED PER COMMENTS	1/25/2024
19	REVISED PER COMMENTS	1/25/2024
20	REVISED PER COMMENTS	1/25/2024
21	REVISED PER COMMENTS	1/25/2024
22	REVISED PER COMMENTS	1/25/2024
23	REVISED PER COMMENTS	1/25/2024
24	REVISED PER COMMENTS	1/25/2024
25	REVISED PER COMMENTS	1/25/2024
26	REVISED PER COMMENTS	1/25/2024
27	REVISED PER COMMENTS	1/25/2024
28	REVISED PER COMMENTS	1/25/2024
29	REVISED PER COMMENTS	1/25/2024
30	REVISED PER COMMENTS	1/25/2024

Revision Schedule

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TABLE N1102.1.2 (R602.1.2)
 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT¹

CLIMATE ZONE	FENESTRATION U-FACTOR ⁽²⁾	SKYLIGHT ⁽³⁾ U-FACTOR ⁽⁴⁾	GLAZED FENESTRATION SHGC ⁽⁵⁾	CEILING R-VALUE ⁽⁶⁾	WOOD FRAME WALL R-VALUE ⁽⁷⁾	MASS WALL R-VALUE ⁽⁸⁾	FLOOR R-VALUE ⁽⁹⁾	BASEMENT ⁽¹⁰⁾ WALL R-VALUE	SLAB ⁽¹¹⁾ R-VALUE & DEPTH	CRAWL SPACE R-VALUE
3	0.35	0.55	0.30	38.00	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	19	5 ⁽¹⁴⁾	0	5 ⁽¹⁵⁾
4	0.35	0.55	0.30	38.00	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	19	10.15	10	10.15
5	0.35	0.55	NR	38.00	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	15.0 ⁽¹²⁾ 13.2 ⁽¹³⁾	19	10.15	10	10.15

1. THIS SCHEDULE WOULD REQUIRE R-15 FOR ALL WOOD FRAME WALLS.
 2. DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL MEET THE REQUIREMENTS OF SECTION N1102.2.2 INCLUDING WEATHER STRIPPING AND A MINIMUM R VALUE OF R-5.

NOTE:
 ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING OR FACE OF BLOCK.
 ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL.
 DIMENSIONS OF ANY DISCREPANCIES IN DESIGN OR DETAILS.
 ALL 2'x8 WALLS TO BE FILLED WITH R-19 BATTS SO THAT NO GAPS ARE PRESENT.

RESIDENTIAL GENERAL NOTES

- STUD WALL NOTES:**
- FRAMED WITH 2x4 STUDS AT 16" O.C. UNLESS NOTED
 - ALL TOILET WALLS TO BE FRAMED WITH 2x6 STUDS
 - ANY EXTERIOR 2" WALLS TO USE R-19 OR R-21 TO FILL ANY GAPS OR VOIDS IN WALL.
- FOUNDATION NOTES:**
- FOUNDATION DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE.
 - FOUNDATION DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE.
 - FOUNDATION DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE.
 - FOUNDATION DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE.
- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF WALLS AND FLOORS SHALL BE PRINTED TO SCALE AND ALL DIMENSIONS SHALL BE PRINTED TO SCALE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF WALLS AND FLOORS SHALL BE PRINTED TO SCALE AND ALL DIMENSIONS SHALL BE PRINTED TO SCALE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF WALLS AND FLOORS SHALL BE PRINTED TO SCALE AND ALL DIMENSIONS SHALL BE PRINTED TO SCALE.
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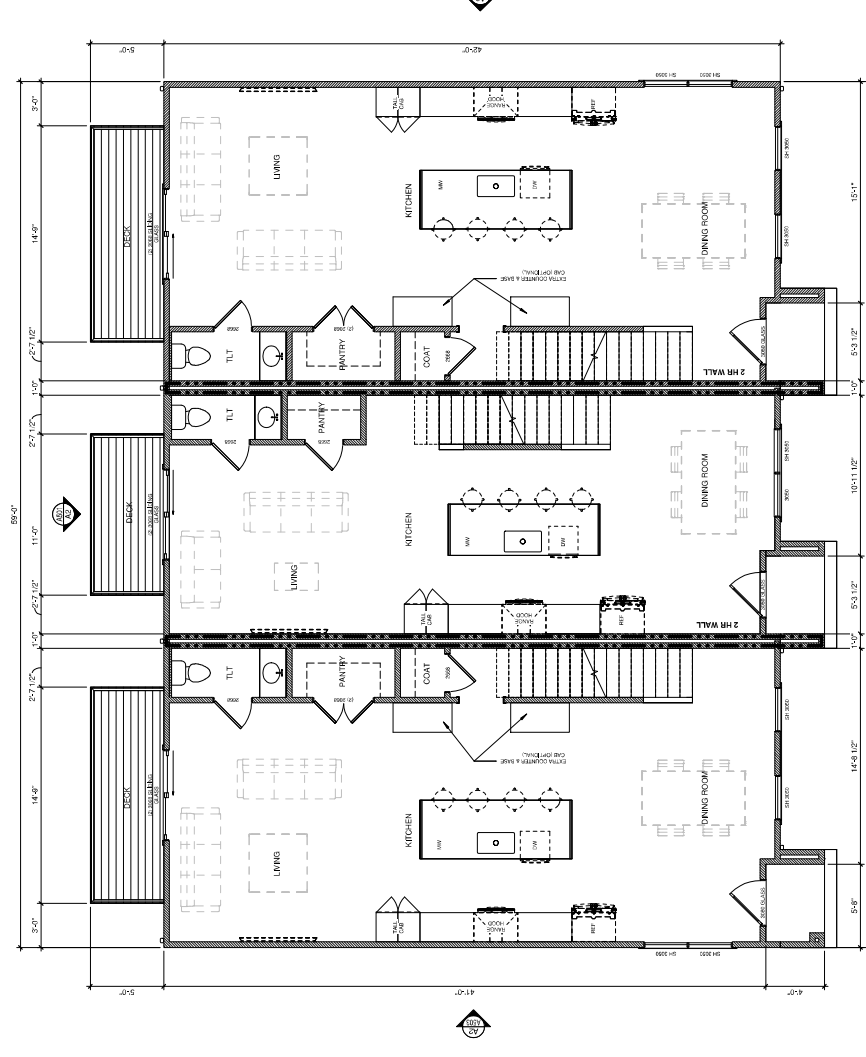


DESIGN DEVELOPMENT CONSULTING
 BIUROBY DESIN, RLC
 187 Academy St., Suite 100
 Charlotte, NC 28203
 (704) 362-0282

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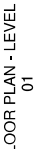
REVISION SCHEDULE

REV #	REVISION DESCRIPTION	PREPARED DATE



Building Key Map
 ISSUE: 2024/03/12
 LAND DEVELOPMENT
 A/E # 2566
 Address TBD

PLAN NORTH



SHEET NAME
FLOOR PLAN - LEVEL 01

SHEET NUMBER
A122

DATE: 2024/03/12
 ISSUE: LAND DEVELOPMENT
 A/E # 2566
 Address TBD

PLAN NORTH



HOLLAND TOWNHOMES

2024/03/12

TABLE N1102.1.2 (R602.1.2)
 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT¹

CLIMATE ZONE	FENESTRATION U-FACTOR ⁽²⁾	SKYLIGHT U-FACTOR ⁽²⁾	FENESTRATION SHGC ⁽³⁾	CEILING R-VALUE ⁽⁴⁾	WOOD FRAME WALL R-VALUE ⁽⁵⁾	MASS WALL R-VALUE ⁽⁶⁾	FLOOR R-VALUE ⁽⁷⁾	BASEMENT ⁽⁸⁾ WALL R-VALUE	SLAB ⁽⁹⁾ R-VALUE & DEPTH	CRAWL SPACE R-VALUE
3	0.35	0.55	0.30	38.0	15.0 ⁽¹⁰⁾ 7.2 ⁽¹¹⁾	5.03	19	5 ⁽¹²⁾	0	5 ⁽¹³⁾
4	0.35	0.55	0.30	38.0	15.0 ⁽¹⁰⁾ 7.2 ⁽¹¹⁾	5.03	19	10.15	10	10.15
5	0.35	0.55	NR	38.0	15.0 ⁽¹⁰⁾ 7.2 ⁽¹¹⁾	13.17 ⁽¹⁴⁾	30 ⁽¹⁵⁾	10.15	10	10.15

1. MASS EXTERIOR WALLS REQUIRE 6" AT ALL WOOD AIR GAPS.
 2. DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL MEET THE REQUIREMENTS OF SECTION N1102.2.2 INCLUDING WEATHER STRIPPING AND A MINIMUM R VALUE OF R-5.

NOTE:
 ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING OR FACE OF BLOCK.
 ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL.
 ALL DIMENSIONS SHALL BE ROUNDED UP TO THE NEXT WHOLE INCH UNLESS NOTED OTHERWISE.
 ALL 2x6 WALLS TO BE FILLED WITH R-19 BATT INSULATION SO THAT NO GAPS ARE PRESENT.

RESIDENTIAL GENERAL NOTES

- STUDY WALLS:**
- ALL INTERIOR STUDY WALLS ARE TO BE FRAMED WITH 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL TOILET WALLS TO BE FRAMED WITH 5/8" STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
 - ANY EXTERIOR 2x6 WALLS TO USE P-19 OR R-21 TO FILL ANY GAPS OR Voids IN WALL.
- MINIMUM DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING.**
- ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF DRYWALL.
 - DO NOT DIMENSION ON PLANS AS THEY VARY FROM ROOM TO ROOM.
- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND FINISHES ARE AS SHOWN ON PLANS AND DETAILS MAY NOT BE PRINTED TO SCALE. USE DIMENSIONS AND FINISHES AS SHOWN ON PLANS AND DETAILS.
 - THE 2018 NORTH CAROLINA RESIDENTIAL CODE AND GRADE ELEVATIONS MAY VARY DUE TO TYPE OF FOUNDATION AND OTHER ON-SITE CONSIDERATIONS. CONTRACTOR TO VERIFY GRADE ELEVATIONS ON ALL SITES.
 - WINDOW HEAD HEIGHTS NOTED ON ELEVATIONS.
- WINDOW NOTES:**
- ALL WINDOWS SHALL BE FULLY TEMPERED GLASS WITH FALL PROTECTION ON WINDOWS WHERE THE SILL IS LESS THAN 24" ABOVE THE FLOOR AND GREATER THAN 48" ABOVE THE FINISHED GRADE.
 - ALL TOP OF WINDOWS TO MATCH TOP OF EXTERIOR FINISH.
 - ALL EXTERIOR 2x6 WALLS TO USE P-19 OR R-21 TO FILL ANY GAPS OR Voids IN WALL.
 - ALL GLASS SHALL BE IN COMPLIANCE WITH NCRC 2018 SECTION 3004 FOR HAZARDOUS LOCATIONS AND NC SECTION 3004.
- DOOR AND WINDOW NOTES:**
- ALL DOORS WITH GLASS SHALL BE FULLY TEMPERED GLASS WITH FALL PROTECTION ON WINDOWS WHERE THE SILL IS LESS THAN 24" ABOVE THE FLOOR AND GREATER THAN 48" ABOVE THE FINISHED GRADE.
 - TRUSS NOTES:
 FLOOR AND ROOF TRUSSES SHALL BE OPEN WEB WITH 2x6 OR 2x8 CHORDS. TRUSSES SHALL BE USED IN LIEU OF I-JOISTS WHEN POSSIBLE.
- SQUARE FOOTAGES:**
- TOTAL HEATED: UNIT A: 2280 SF
 UNIT B: 2280 SF
 UNIT C: 2280 SF
- TOTAL UNHEATED: UNIT A: 776 SF
 UNIT B: 776 SF
 UNIT C: 776 SF

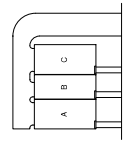


DESIGN DEVELOPMENT CONSULTING
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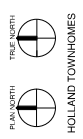
**NOT FOR CONSTRUCTION
 DEVELOPMENT REVIEW**

2024/03/12 2:00:00 PM 2024/03/12

Revision Number	Revision Description	Revision Date
1	2024/03/12 DESIGN	2/21/2024



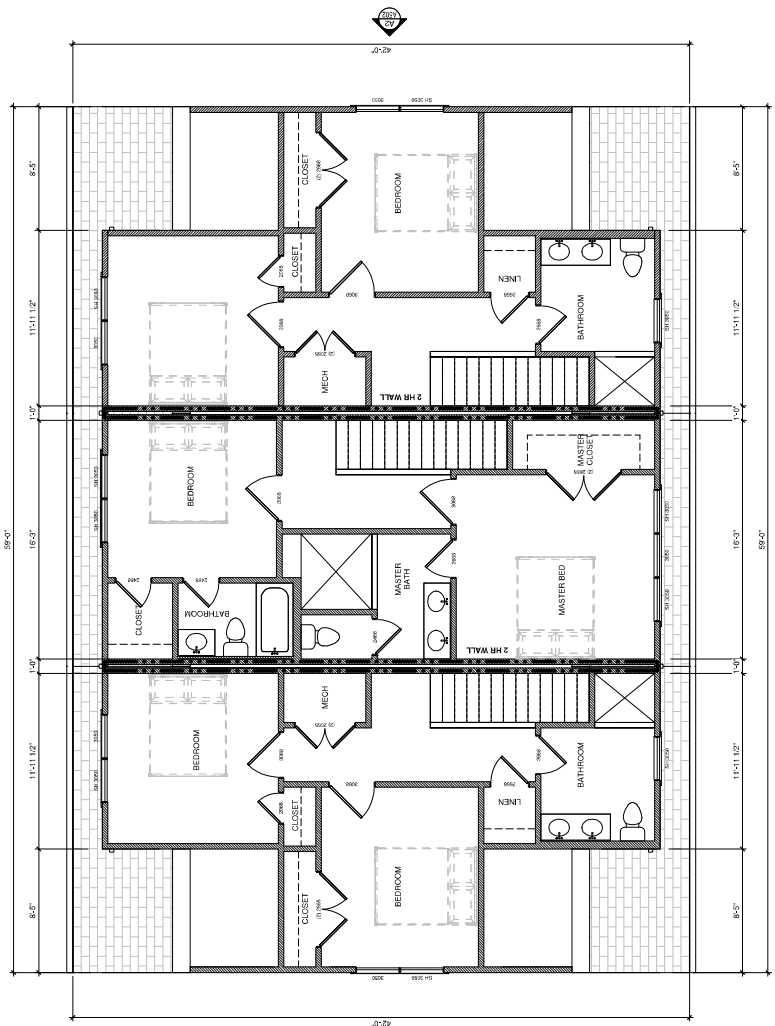
Building Key Map
 DATE: 2024/03/12
 ISSUE: LAND DEVELOPMENT
 A/E #: 2556
 Address TBD



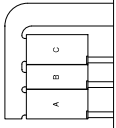
FLOOR PLAN - LEVEL 03
 SHEET NAME: 03
 SHEET NUMBER: A124

2024/03/12
A124

THIS PLAN AND ALL DIMENSIONS ARE THE PROPERTY OF BIENBORN DESIGN, PLLC. THIS PLAN IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BIENBORN DESIGN, PLLC. THESE DIMENSIONS ARE INTENDED FOR THE DESIGNER'S USE ONLY. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE 2018 NORTH CAROLINA RESIDENTIAL CODE AND GRADE ELEVATIONS MAY VARY DUE TO TYPE OF FOUNDATION AND OTHER ON-SITE CONSIDERATIONS. CONTRACTOR TO VERIFY GRADE ELEVATIONS ON ALL SITES.



AS FLOOR PLAN - NEW
 1/4" = 1'-0"



2024/03/12
Revised: 2/26/2024

Revision Schedule	
Rev #	Revision Description
1	FOR PRELIMINARY REVIEW
2	FOR PRELIMINARY REVIEW



DESIGN DEVELOPMENT CONSULTING
BURNBOY DESIGN PLLC
187 Academy St.
Charlotte, NC 28203
704.366.0028

NOT FOR CONSTRUCTION
FOR LAND DEVELOPMENT REVIEW

ELEVATION NOTES

1. USE TO THE COMPARTMENT NATURE OF THE EXTERIOR DESIGN. AS SMALL REVIEWS MATERIALS, COLORS AND INSTALL WITH ARCHITECT BEFORE ORDERING OR INSTALL.
2. PER MR REQUIREMENTS ALL FIBER CEMENT PANELS TO HAVE DRAINABLE BUILDING WRAP OR USE 1/2" x 3/8" WOOD TURNING STRIPS SPACED @ 6". METAL OR THE AND BEHINDMENT OF FINISHES. BEING SURE TO VERIFY BEFORE INSTALL.
3. ALL NON WOOD LOOK FINISH TO BE SMOOTH PAINTED FINISH. ALL SIDING WITH WOOD LOOK TO BE WOOD GRAIN LAP AND TRIM PAINTED TO LOOK LIKE STAINED WOOD.

ELEVATION DATA TABLE

Project number:	LDDP-2024-00238
Person number (if applicable):	N/A
Minimum building height:	10'-0"
Minimum building height proposed:	N/A
Proposed building height:	35'-0"
Minimum ground floor height:	8'-0"
Minimum ground floor height proposed:	N/A
Material:	Restricted material: N/A
Material finish:	N/A
Maximum blank wall:	N/A (Triple on Sides)
Percentage of ground floor transparency:	N/A (Triple on Sides)
Percentage of upper floor transparency:	N/A (Triple on Sides)

Proposed: N/A
Required: N/A
Restricted material: N/A

Proposed: N/A
Required: N/A
Restricted material: N/A

N/A (Triple on Sides)
N/A (Triple on Sides)
N/A (Triple on Sides)
N/A (Triple on Sides)

FINAL APPROVAL
PROJECT NUMBER: LDDP-2024-00238
DESIGN DEVELOPMENT CONSULTING
187 ACADEMY ST.
CHARLOTTE, NC 28203
704.366.0028

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(A) FRONT ELEVATION
1/4" = 1'-0"

1 2 3 4 5

D C B A

FINAL APPROVAL
 PROJECT NUMBER: LDCP-2024-00238
 PROJECT INFORMATION: THESE COULD BE THE SOURCE OF A PUBLIC RECORD FOR THE CITY OF CHARLOTTE. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE CITY OF CHARLOTTE. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE CITY OF CHARLOTTE. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE CITY OF CHARLOTTE. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE CITY OF CHARLOTTE.

ELEVATION NOTES

- 1. DUE TO THE COMPLICATED NATURE OF THE EXTERIOR DESIGN, GC SHALL DISCUSS MATERIALS, COLORS AND INSTALL WITH ARCHITECT BEFORE ORDERING OR INSTALL.
- 2. PER MFR REQUIREMENTS ALL TRUSS CEILING PANELS TO HAVE DRAINABLE BUILDING WRAP. ALL TRUSS CEILING PANELS TO HAVE DRAINABLE BUILDING WRAP. ALL TRUSS CEILING PANELS TO HAVE DRAINABLE BUILDING WRAP. ALL TRUSS CEILING PANELS TO HAVE DRAINABLE BUILDING WRAP.
- 3. ALL NON WOOD LOOK SIDINGS TO BE SMOOTH PAINTED FINISH. ALL SIDINGS WITH WOOD LOOK TO BE ROUGH GRAIN LIP AND FINISH PAINTED TO LOOK LIKE STAINED WOOD.

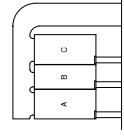


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 BUEMBOOY DESIGN, PLLC
 1837 Academy St.
 Charlotte, NC 28203
 (704) 366-0283

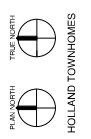
NOT FOR CONSTRUCTION FOR LAND DEVELOPMENT REVIEW

2024/03/12 Revison: 1.02/2024

Revison Number	Revison Date	Revison Description
1	12/28/2024	ISSUE FOR PERMIT
2	1/23/2024	REVISED PER CITY COMMENTS



Building Key Map
 DATE: 2024/03/12 ISSUE:
 LAND DEVELOPMENT
 A/E # 2556
 Address TBD



SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NUMBER
 A501

BEAR ELEVATION
 1/4" = 1'-0"

MECHANICAL CONDENSERS (TYPICAL)

ALL UTILITY METERS IN BACK (TYP)



5

4

3

2

1

5

4

3

2

1

FINAL APPROVAL
 PROJECT NUMBER: LDCP-2024-00238

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ELEVATION NOTES

- 1. DUE TO THE COMPLICATED NATURE OF THE EXTERIOR DESIGN, GC SHALL RECURSIVELY CHECK FOR AND CORRECT ANY CLASHES OR CONFLICTS BEFORE CONSTRUCTION.
- 2. SIPS JOISTS SHALL BE PROTECTED WITH 1/2" GYP BOARD OR 1/2" POLYURETHANE WRAP OR USE 1 1/2" x 3 1/2" WOOD FLOORING STRIPS SPACED 16" O.C. INSTALL ALL THE ABOVE MATERIALS TO THE EXTERIOR FACE OF THE JOIST TO PROTECT THE JOIST FROM WEATHER DAMAGE.
- 3. ALL NON-WOOD LOOK SIDING TO BE SMOOTH FINISHED FINISH. ALL SIDING WITH WOOD LOOK TO BE WOOD GRAIN LAP AND TRIM PAINTED TO LOOK LIKE STAINED WOOD.

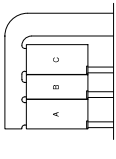


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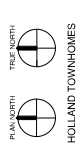
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2024/03/12 Sheet No. LDCP-2024-00238

Revision Schedule	
No.	Description
1	ISSUE FOR DESIGN
2	ZONING REVIEW #2



Building Key Map
 DATE: 2024/03/12 ISSUE:
 LAND DEVELOPMENT
 A/E #: 2556
 Address TBD



SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A503

2024/03/12

