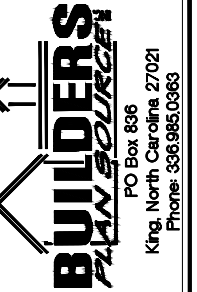




ELEVATION B

# ALL 4 U HOMES, LLC

## JUSTINE - LH



BUILDER  
All 4 U Homes, LLC

OWNER:

PLAN NAME:

JUSTINE  
Elevation B

ISSUE DATE:  
2020-10-09

REVISION DATE:

DRAWN BY:  
BPS

CHECKED BY:

STANDARD SCALE  
1/8" = 1'-0"  
2264 / 14-1'-0"

SHEET NUMBER

cover

### GENERAL CONSTRUCTION INFORMATION

**FOUNDATIONS:** ALL SPREAD & STRIP FOOTINGS SHALL BE SUPPORTED ON SOIL WITH A BEARING CAPACITY OF NOT LESS THAN 2,000 PSF. THIS SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER WHOSE RECOMMENDATIONS SHALL BE STRICTLY ADHERED TO. THE FOOTING SUBGRADE EVALUATION WILL BE PROVIDED AT EACH JOB SITE AND WILL BE AVAILABLE FROM THE FIELD MANAGER.

**FLOORS:** UNLESS OTHERWISE NOTED, THESE PLANS ARE DESIGNED FOR AN ENGINEERED WOOD/TRUSS SYSTEM. DIRECTION OF TRUSSES/JOISTS ARE NOTED ON THE FLOOR PLANS. HOWEVER ACTUAL DEPTH AND SPACING MAY VARY PER THE MANUFACTURER AND THE INTENDED SPAN. FIRST FLOOR SYSTEMS ON BASEMENTS AND/OR CRAWL SPACES COULD BE CONVENTIONAL FRAMED. ALL CONVENTIONAL FRAMING MUST BE IN ACCORDANCE WITH THE BUILDING CODE. IT IS ASSUMED THAT THE SUBFLOOR WILL BE 3/4" THICK PLYWOOD/SHEATHING. OTHER MATERIALS MUST COMPLY WITH BUILDING CODES. FINISHED FLOORS MAY OR MAY NOT BE NOTED IN THIS PLAN ACCORDING TO BUILDER/CLIENT PREFERENCE. IN ALL CASES, ALL SUBCONTRACTORS SHOULD VERIFY FINISHED MATERIALS WITH THE CONTRACTOR/BUILDER AS THE ACTUAL MAY DIFFER FROM THIS PLAN.

**WALLS:** ALL EXTERIOR WALLS ARE MEASURED AT 4" THICK ACCOUNTING FOR THE STUD AND 1/2" SHEATHING. ALL INTERIOR WALLS ARE MEASURED AT 3 1/2" ACCOUNTING FOR THE STUD ONLY BEFORE DRYWALL UNLESS NOTED OTHERWISE. ALL WALLS BETWEEN THE UNCONDITIONED GARAGE AND THE CONDITIONED HOME SPACE ARE MEASURED AT 3 1/2" AND THE OUTSIDE EDGE OF THE STUD SHALL BE IN LINE WITH THE EDGE OF THE FOUNDATION BELOW ALLOWING THE DRYWALL TO OVERHANG THE FOUNDATION. ALL WALLS IN KITCHEN AREAS SHALL HAVE STUDS SPACED AT A MINIMUM OF 16" O.C. TO ALLOW FOR CABINET INSTALLATION. WALL PLATE HEIGHTS AND WINDOW HEADER HEIGHTS ARE NOTED ON THE EXTERIOR ELEVATIONS. ALL DIMENSIONS WILL BE MEASURED FROM THE FRAMING MEMBER AND WILL NOT ACCOUNT FOR WALL COVERINGS SUCH AS DRYWALL, BRICK VENEER, STONE, ETC. ALL LOAD BEARING WALLS SHALL BE A 2X4 AT A MINIMUM OF 16" O.C. STUD SIZE OR SPACING REQUIREMENTS MAY CHANGE IN BASEMENT OR LOWER LEVELS OF TWO OR THREE STORY HOMES SO REFER TO YOUR LOCAL CODE FOR COMPLIANCE.

**DOORS/WINDOWS:** ALL DOOR AND WINDOW SIZE, STYLE, AND DESIGN SHOULD BE VERIFIED WITH THE BUILDER/CONTRACTOR PRIOR TO ORDERING. DOOR AND WINDOW NOTATIONS (TAGS) ARE NOTED IN FEET AND INCHES. THEREFORE THE FIRST TWO NUMBERS REPRESENT THE WIDTH IN FEET AND INCHES. THE LAST TWO NUMBERS REPRESENT THE HEIGHT IN FEET AND INCHES. FOR EXAMPLE, IF A WINDOW IS NOTED 3050, THE NOMINAL SIZE OF THE WINDOW IS 3'-0" WIDE BY 5'-0" HIGH. THE SAME METHOD SHALL BE USED FOR DOORS, WINDOWS, TRANSOM WINDOWS, SHEETROCK OPENINGS, CASED OPENINGS, ETC.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENABLE AREA OF 4 SQUARE FEET, WITH MINIMUM NET CLEAR OPENING HEIGHT OF 22 INCHES AND MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES; ALSO MUST HAVE A MINIMUM TOTAL GLAZING AREA OF NOT LESS THAN 5 SQUARE FEET ON GROUND FLOOR LEVEL WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF AN UPPER STORY WINDOW.

ALL GLAZING HAZARDOUS IN LOCATION SHALL BE TEMPERED SAFETY GLASS. ALL SIDELITES AT FRONT DOOR MUST BE TEMPERED.

**WINDOW SPECIFICATIONS:** U-FACTOR .31, SHGC-.29 DOUBLE GLAZES, LOW E, GBC7/8, ARGON GAS, STRUCTURAL DESIGN PRESSURE RATING ±35

**ENERGY EFFICIENCY:** ENERGY EFFICIENCY COMPLIANCE SHALL BE DEMONSTRATED PER A STATE SPECIFIC RESCHECK INDICATING THE REQUIRED INSULATION AND FENESTRATION CRITERIA. THE RESCHECK PRODUCED INSPECTION CHECKLIST AND ENERGY EFFICIENCY CERTIFICATE SHALL BE USED TO VERIFY REQUIRED COMPLIANCE. (N1101.2)

INSULATION VALUES:	
CEILINGS	R-38
WALLS	R-15
CANTILEVER FLOORS	R-19
CRAWL SPACE FLOORS	R-19
BASEMENT WALLS	R-13
CONCRETE SLAB-ON-GRADE	R-10

HORIZONTAL ACCESS DOORS FROM CONDITIONED SPACE TO UNCONDITION SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO R-10. PULL DOWN STAIRS SHALL BE WEATHERSTRIPPED AND INSULATED WITH A MINIMUM R-6. FULL SIZED DOORS THAT ARE PART OF THE THERMAL ENVELOP AND PROVIDE PASSAGEWAY TO UNCONDITIONED SPACES SHALL BE ONE SIDE HINGED OPAQUE DOORS LESS THAN 24 SQFT.

**ROOF:** UNLESS OTHERWISE NOTED, THIS PLAN IS DESIGNED FOR AN ENGINEERED ROOF TRUSS SYSTEM. DIRECTION OF TRUSSES ARE NOTED IN THE PLANS HOWEVER THE ACTUAL TRUSS SIZE SPACING MAY VARY ACCORDING TO THE MANUFACTURER. REFER TO THE MANUFACTURER'S LAYOUT/SHOP DRAWINGS FOR ACTUAL REQUIRED TRUSS INFORMATION. ALL BRACING FOR TRUSSES, TEMPORARY OR PERMANENT, SHOULD BE DONE IN ACCORDANCE WITH TR, TRUSS MANUFACTURER AND/OR THE CURRENT BUILDING CODE.

ROOF SLOPES LESS THAN 4 IN 12, UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15# FELT PAPER.  
ROOF SLOPES GREATER THAN 4 IN 12, UNDER LAYMENT SHALL CONSIST OF 1 LAYER OF 15# FELT PAPER.

### ABBREVIATIONS

ABV.	ABOVE	FIN.	FINISH	MC.	MEDICINE CABINET	SYP.	SOUTHERN YELLOW PINE
A.F.F.	ABOVE FINISHED FLOOR	F.F.	FINISH FLOOR	MIR.	MIRROR	SPEC.	SPECIFICATION
ADJ.	ADJUSTABLE	F.G.	FINISH GRADE	MISC.	MISCELLANEOUS	SQ.	SQUARE
APPROX.	APPROXIMATE	FLR	FLOOR	MIN.	MINIMUM	SF	SQUARE FEET/FOOT
A.O.	ARCHED OPENING	F.B.	FLOOR BREAK	MONO.	MONOLITHIC	STL	STEEL
BM.	BEAM	FC	FLOOR CEILING	N.T.S.	NOT TO SCALE	STOR.	STORAGE
BRG.	BEARING	F.J.	FLOOR JOIST	O.C.	ON CENTER	STRUCT.	STRUCTURAL
B.G.	BELOW GRADE	FT.	FOOT	OPG.	OPENING	SIM.	SIMILAR
BLW.	BELOW	FTG.	FOOTING	OPT.	OPTION, OPTIONAL	SYN.	SYNTHETIC
BLK.	BLOCK	FND.	FOUNDATION	OSB	ORIENTED STRAND BOARD	T.V.	TELEVISION
BD.	BOARD	FX	FIXED	OH	OVERHANG	TEMP.	TEMPERED
BOT.	BOTTOM	GL.	GLASS, GLAZING	O.H.D.	OVER HEAD DOOR	THK	THICKENED
CAB.	CABINET	GYP.	GYP/SUM	P.	PANTRY	TYP.	TYPICAL
C.O.	CASED OPENING	HR	HARDWIRE	PAN.	PANTRY	UNFIN.	UNFINISHED
C.C.	CEILING	HWD	HARDWOOD	PED.	PEDISTAL	UNLD.	UNLESS NOTED OTHERWISE
C.C. HT.	CEILING HEIGHT	HR.	HEADER	PRDR.	PRESSURE TREATED	UTIL.	UTILITY
C.J.	CEILING JOIST	HT. (HGT.)	HEIGHT	PT	PROPERTY LINE	VB	VAPOR BARRIER
CTR.	CENTER	H.S.	HOSE EBBR	P.L.	PULL DOWN STAIR	W.I.C.	WALK-IN-CLOSET
CL.	CENTER LINE	HW.	HOT WATER	PDS	PULL DOWN STAIR	W&D	WASHER AND DRYER
COL.	COLUMN	IN.	INCH	QTY.	QUANTITY	W.C.	WATER CLOSET
D	DEPTH	INSUL.	INSULATE	R.	RISER	W.	WIDTH/WIDE
DET.	DETAIL	KIT.	KITCHEN	REF.	REFERENCE	WIN.	WINDOW
DIAG.	DIAGONAL	LAUN.	LAUNDRY	REFER.	REFRIGERATOR	w/	WITH
DIA.	DIAMETER	LAV.	LAVATORY	REQ.	REQUIRED	w/o	WITHOUT
DM.	DIMENSION	LT.	LIGHT	R.A.	RETURN AIR		
DR.	DOOR	LIN.	LINEN	RM.	ROOM		
DW.	DISHWASHER	LB.	POUND	R.O.	ROUGH OPENING		
DWR	DRAWER	LBS.	POUNT / WEIGHT	SHT.	SHEET		
DN.	DOWN	MANUF.	MANUFACTURE	SHTG.	SHEATHING		
DS.	DOWNSPROUT	M.O.	MASONRY OPENING	SRO	SHEET ROCK OPENING		
EAL.	EACH	M.	MASTER	SGD	SLIDING GLASS DOOR		
EQ.	EQUAL	MAX.	MAXIMUM	SD	SMOKE DETECTOR		

### GRAPHIC LEGEND

EXTERIOR WALLS	INTERIOR WALLS	ELEVATION MATERIALS
EXT. WALL	INT. WALL NON-LOAD BEARING	VINYL SIDING AS SPECIFIED
EXT. WALL W/ BRICK VENEER	OPTIONAL WALL	STUCCO
EXT. WALL W/ STONE VENEER	INT. WALL LOAD BEARING	BRICK VENEER
	LOW WALL (HT. AS NOTED)	STONE VENEER
	LOW WALL W/ CAP (HT. AS NOTED)	VINYL SHAKE SIDING AS SPECIFIED
		FIBERGLASS SHINGLES AS SPECIFIED

### GENERAL NOTES

THIS SET OF CONSTRUCTION DOCUMENTS WAS PRODUCED BY BUILDERS PLANSOURCE, INC. (BPS), BUILDERS PLANSOURCE, INC. IS A RESIDENTIAL PLANNING/DRAFTING FIRM AND HAS PROVIDED A DRAFTING SERVICE ONLY. THE HOME BUILDER/GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ATTRIBUTES OF ANY PROJECT ASSOCIATED WITH THIS SET OF CONSTRUCTION DOCUMENTS:

- (1) APPOINTING A LICENSED STRUCTURAL ENGINEER TO VERIFY AND/OR SPECIFY ANY OR ALL STRUCTURAL COMPONENTS INCLUDING BUT NOT LIMITED TO RAFTERS, TRUSSES, CEILING JOISTS, FLOOR JOISTS/SYSTEMS, GIRDERS, BEAMS, WALL BRACING DESIGN, FOUNDATION WALLS AND FOOTINGS, ETC.
- (2) VERIFYING ALL COMPONENTS OF THESE DRAWINGS, PRIOR TO BEGINNING OF PROJECT, INCLUDING BUT NOT LIMITED TO DESIGN FEATURES, MEASUREMENTS, ROOM SIZES, ROOF PITCHES, WINDOW/DOOR SIZES, FOUNDATIONAL MEASUREMENTS/DIMENSIONS, AND ANY OTHER SPECIFIC INFORMATION WITHIN.
- (3) VERIFYING BUILDING CODE COMPLIANCE TO ALL SPECIFIC FEDERAL, STATE, AND LOCAL BUILDING CODES. BECAUSE BUILDERS PLANSOURCE, INC. PROVIDES SERVICES IN MULTIPLE STATES, WE CAN NOT GUARANTEE OUR PLANS TO MEET ALL SPECIFIC CODES. THE BUILDER/CONTRACTOR MUST APPOINT A REGISTERED ARCHITECT IN THEIR SPECIFIC STATE TO VERIFY AND GUARANTEE CODE COMPLIANCE.
- (4) VERIFYING EACH SPECIFIC LOT CONDITION AND REQUIREMENTS TO ENSURE POSITIVE DRAINAGE AND COMPLIANCE TO ALL FEDERAL, STATE, AND LOCAL CODES.

### STAIR NOTES

PER IRC 311.5

**8'-1" STAIR**  
(USE 14" FLOOR SYSTEM WITH 3/4" PLYWOOD SUBFLOOR)  
8'-1 1/2" WALL HEIGHT  
14 TREADS AT 10" / 15 RISERS = 112 1/4" - VERIFY ON SITE

**9'-1" STAIR**  
(USE 14" FLOOR SYSTEM WITH 3/4" PLYWOOD SUBFLOOR)  
9'-1 1/2" WALL HEIGHT  
15 TREADS AT 10" / 16 RISERS = 148 1/4" - VERIFY ON SITE

### BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:

- FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
- 2018 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR

PRODUCT: SINGLE FAMILY RESIDENCE

CONSTRUCTION TYPE: V-B

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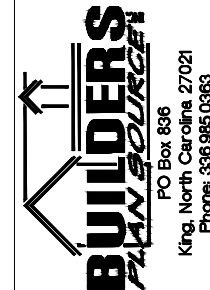
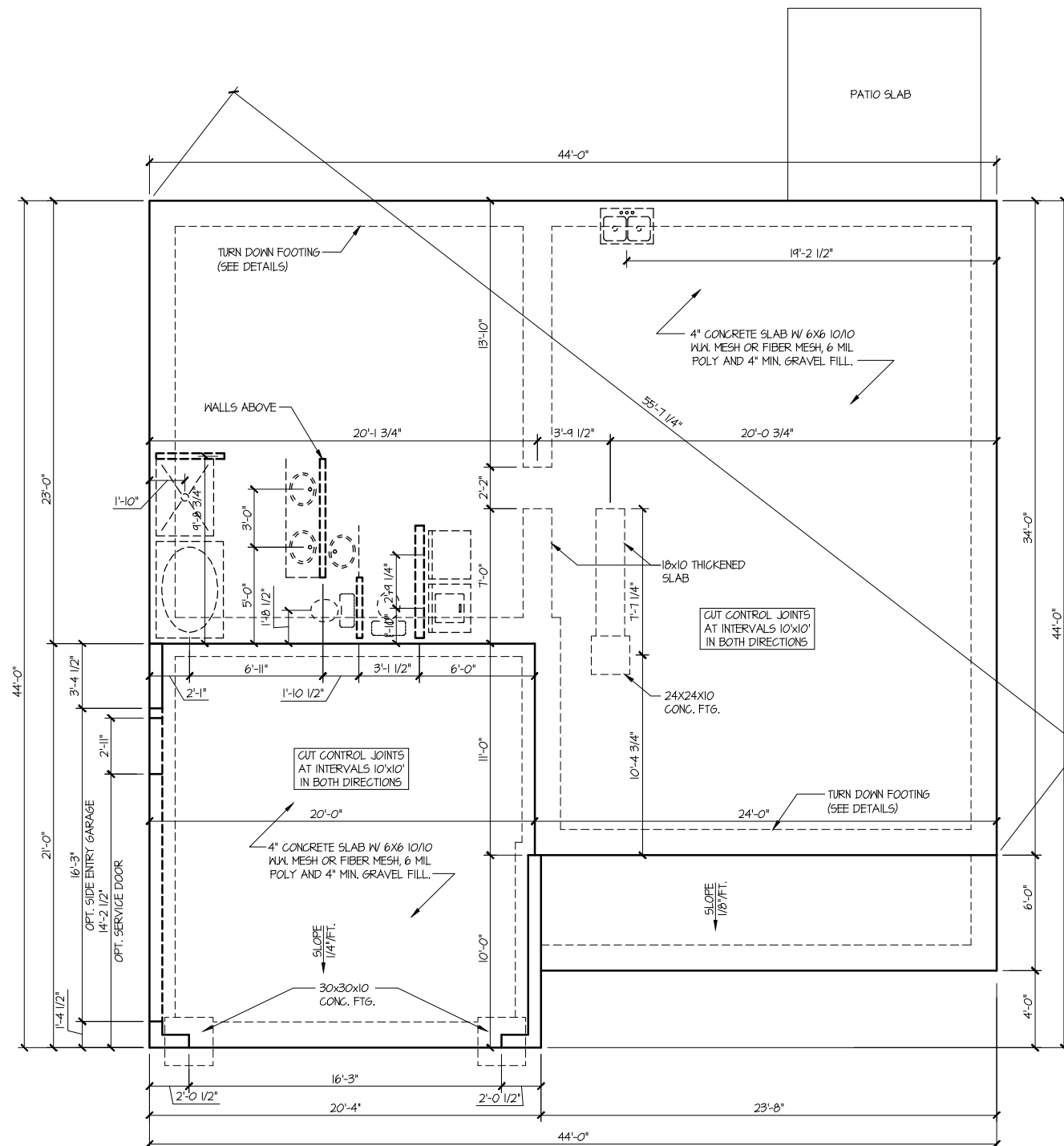
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PO Box 836  
King, North Carolina 27021  
Phone: 336.985.0363

BUILDER  
All 4 U Homes, LLC

OWNER:

PLAN NAME:  
JUSTINE  
Elevation B

ISSUE DATE:  
2020-10-09

REVISION DATE:

DRAWN BY:  
BPS

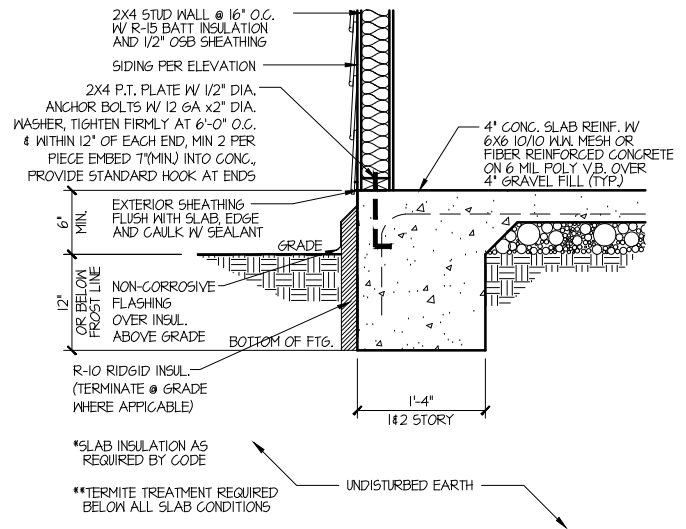
CHECKED BY:

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2264 1/4"=1'-0"

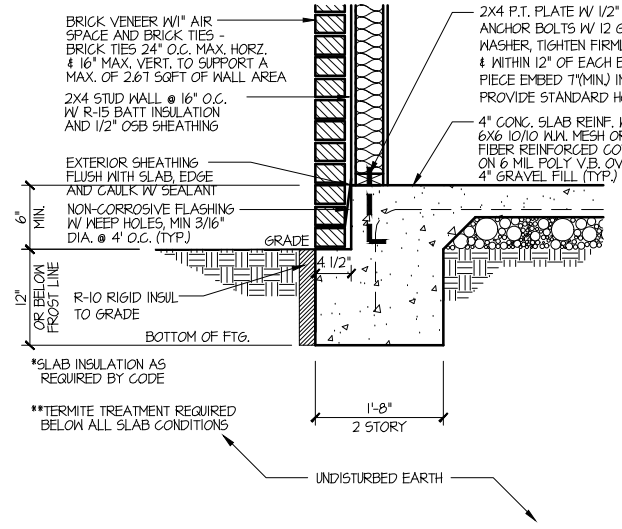
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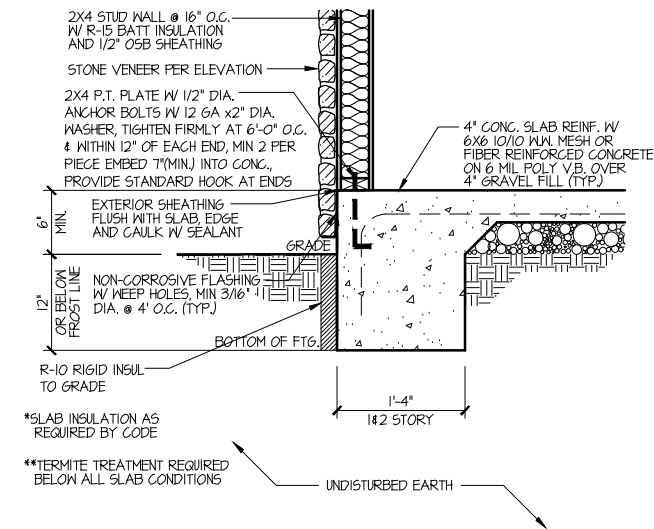
SLAB FOUNDATION



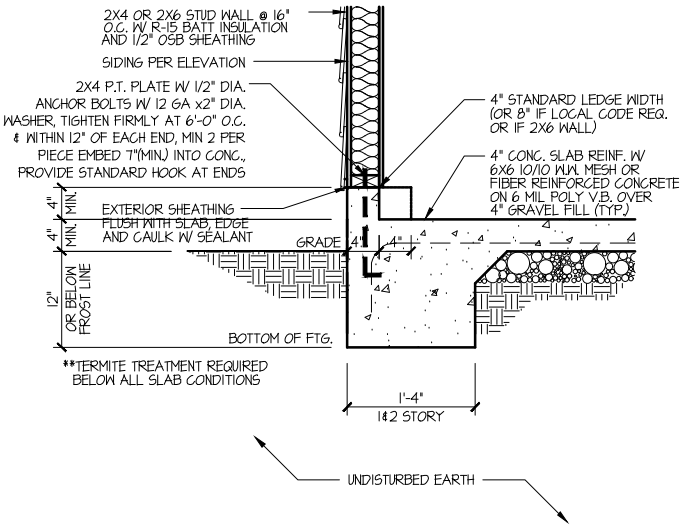
1 MONO @ HOUSE W/ SIDING



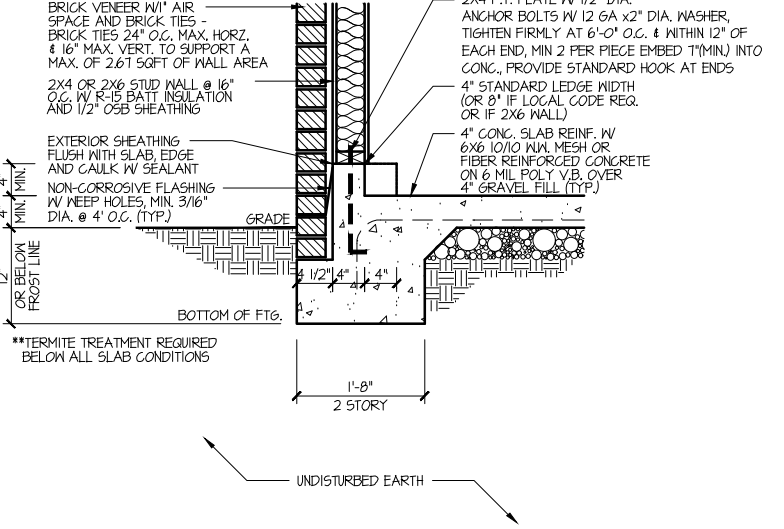
2 MONO @ HOUSE W/ BRICK



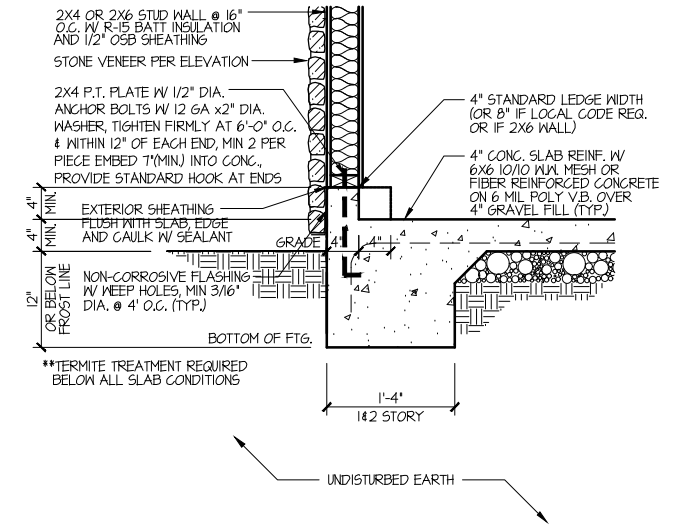
3 MONO @ HOUSE W/ STONE



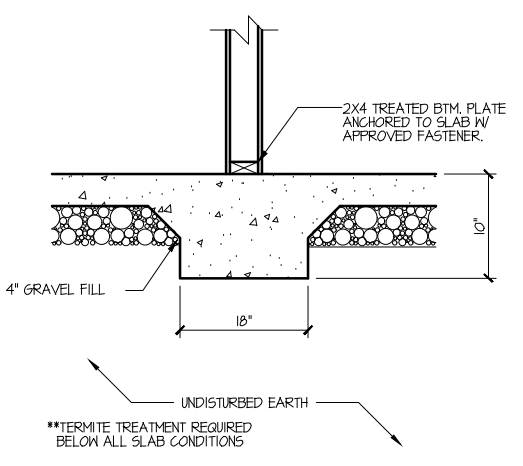
4 MONO @ GARAGE W/ SIDING



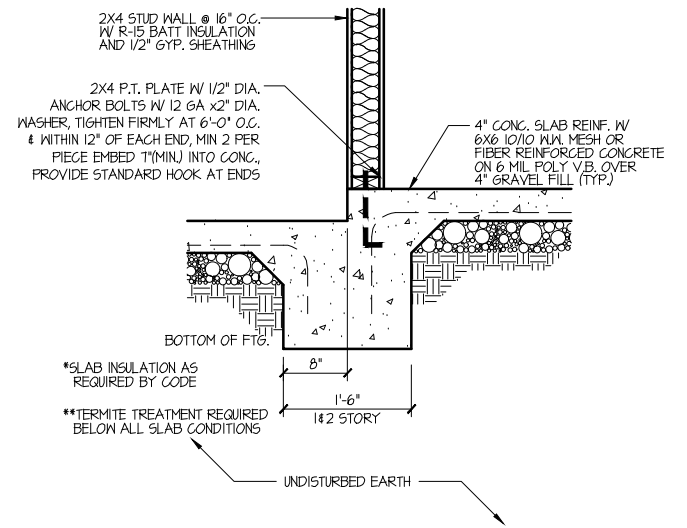
5 MONO @ GARAGE W/ BRICK



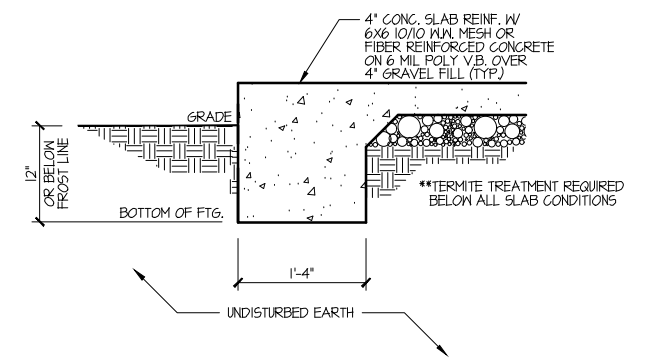
6 MONO @ GARAGE W/ STONE



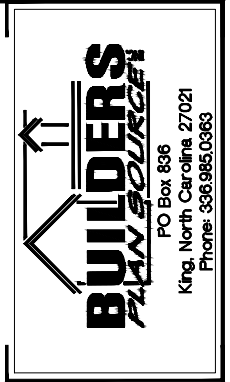
7 THICKENED SLAB



8 MONO @ HOUSE/GARAGE



9 PORCH TURN DOWN



BUILDER: All 4 U Homes, LLC

OWNER: JUSTINE Elevation B

ISSUE DATE: 2020-10-09  
REVISION DATE:

DRAWN BY: BPS  
CHECKED BY:  
STANDARD SCALE: 1/8"=1'-0"  
2264-1/4-1'-0"

SHEET NUMBER: 2.10

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PRESCRIPTIVE COMPLIANCE (FENESTRATION) FOR DOORS AND WINDOWS

GROSS AREA OF EXTERIOR WALLS	2216 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	17.18 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	62.23 SQFT.
NOMINAL AREA OF WINDOWS	199.5 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	219.51 SQFT.
% OF DOOR AND WINDOW OPENINGS	12.28%

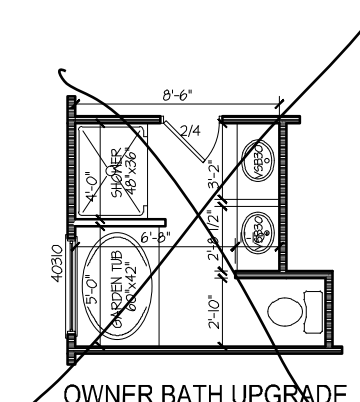
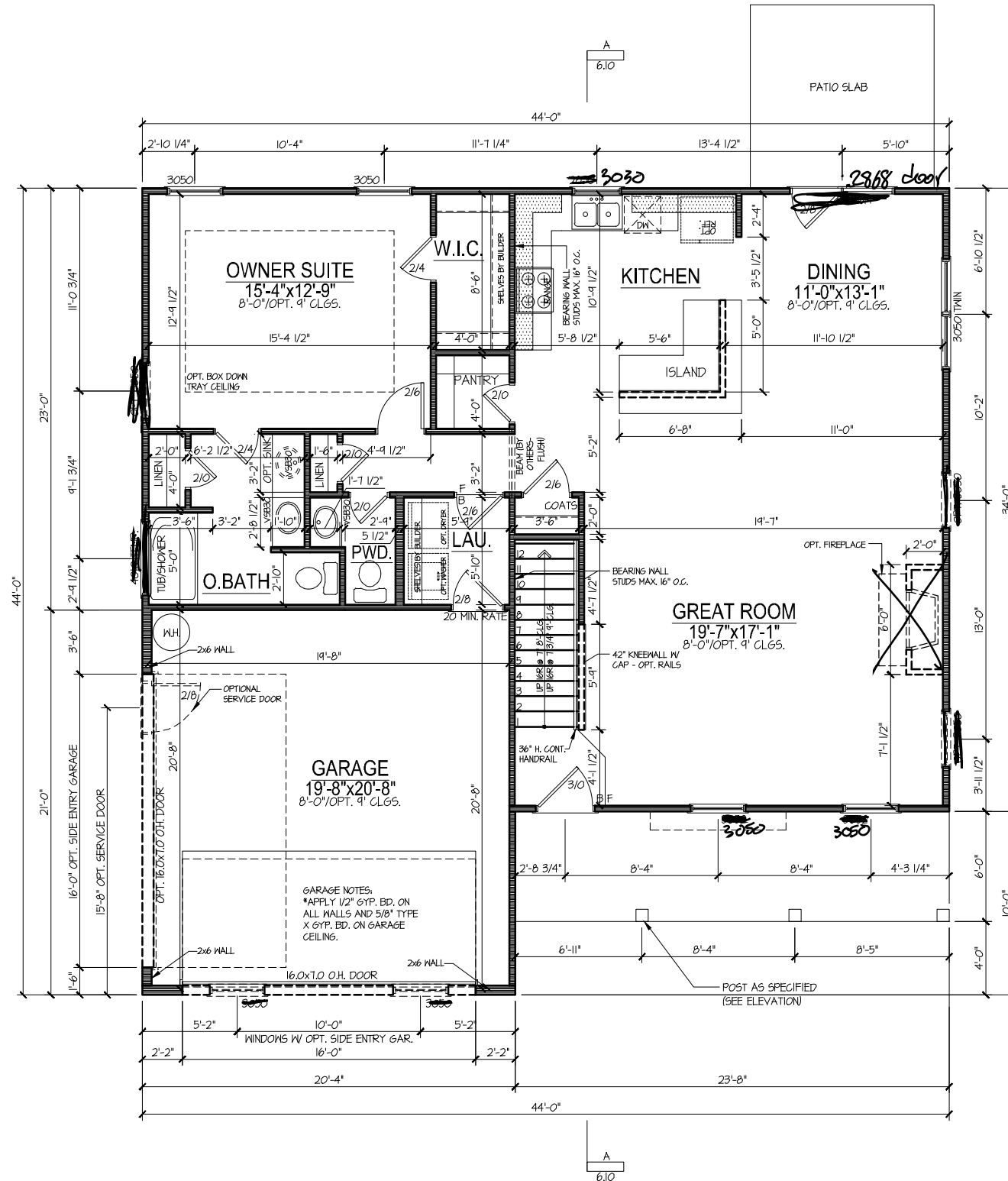
FIRST FLOOR PLAN NOTES

- FIRST FLOOR CEILING HEIGHT IS 9'-1 1/2" U.N.O.
- SEE ELEVATIONS FOR WINDOW HEADER HEIGHTS
- ALL EXTERIOR WALLS ARE DRAWN AT 4" U.N.O. W/ STUD SPACING AT 16" O.C.
- ALL INTERIOR WALLS ARE DRAWN AT 3 1/2" U.N.O. W/ STUD SPACING AT 24" O.C. STUD WALLS AT KITCHEN LOCATIONS TO SPACED AT 16" O.C.
- APPLY 1/2" GYP. BD. ON ALL GARAGE WALLS AND 5/8" TYPE X GYP. BD. ON GARAGE CEILING.
- VERIFY LOCATION OF HVAC CONDENSOR WITH FIELD MANAGER.

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	1226	1216	1216	GARAGE	423
SECOND FLOOR	185	823	823	REAR PATIO/OPT. SCR. PRCH.	120
OPT. BONUS ROOM				PORCH	142
				ATTIC STORAGE (APPROX.)	N/A
				SECOND STORY FOYER	N/A
				2 STORY/REG. ROOM	242
TOTAL SF	2011	2099	2099		

\*\*\*APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE\*\*\*



**BUILDERS PLANSOURCE**  
 PO Box 836  
 King, North Carolina 27021  
 Phone: 336.985.0363

BUILDER: All 4 U Homes, LLC

OWNER:

PLAN NAME: JUSTINE Elevation B

ISSUE DATE: 2020-10-09  
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DRAWN BY: BPS  
 CHECKED BY:  
 STANDARD SCALE: 1/8"=1'-0"  
 2264 1/4"=1'-0"

SHEET NUMBER: 3.10

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PRESCRIPTIVE COMPLIANCE (FENESTRATION) FOR DOORS AND WINDOWS

GROSS AREA OF EXTERIOR WALLS	2276 SQFT.
NOMINAL AREA OF UNGLAZED DOORS	17.78 SQFT.
NOMINAL AREA OF DOORS WITH GLAZING	62.23 SQFT.
NOMINAL AREA OF WINDOWS	199.5 SQFT.
TOTAL NOMINAL AREA OF DOORS & WINDOWS	279.51 SQFT.
% OF DOOR AND WINDOW OPENINGS	12.28%

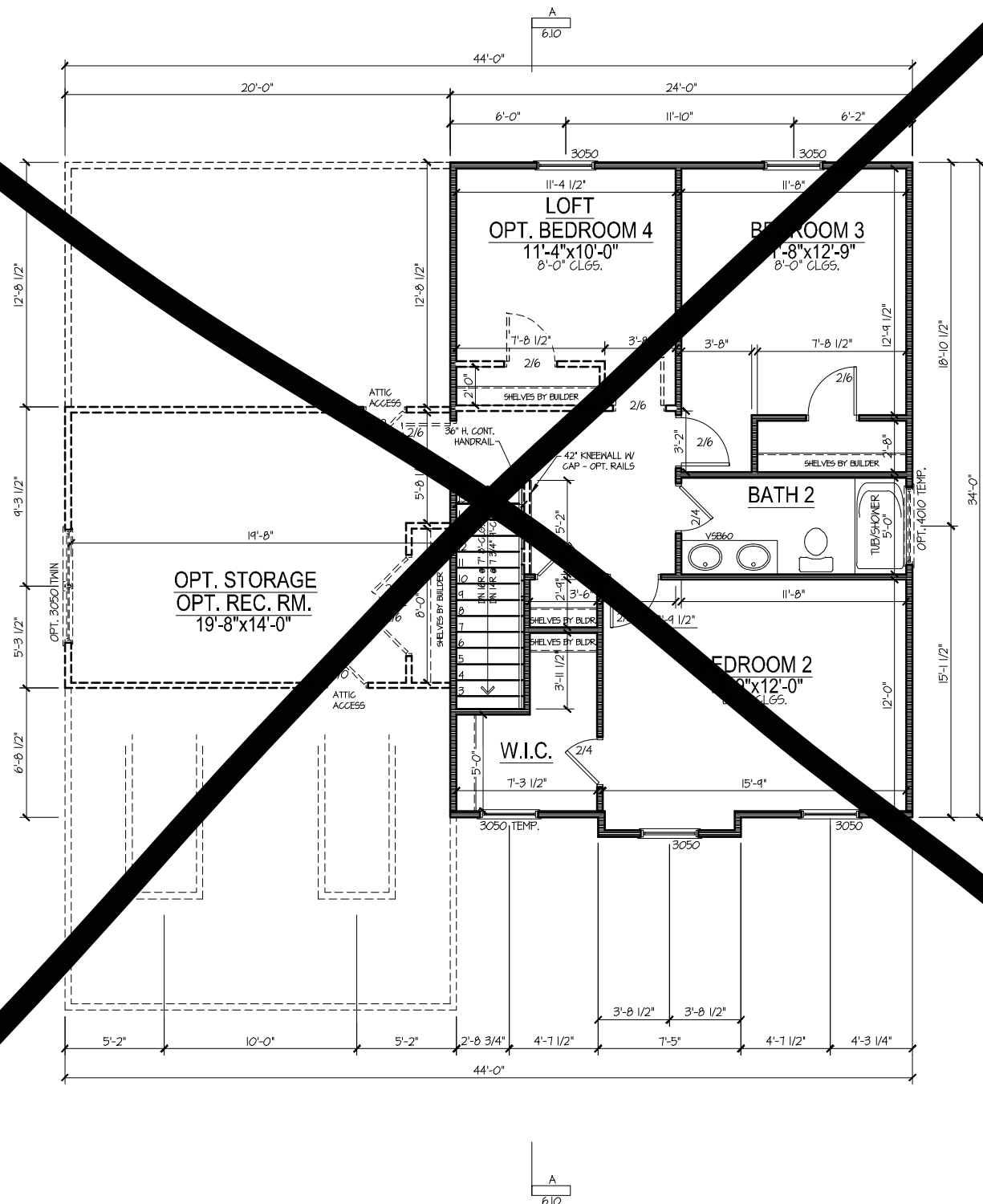
SECOND FLOOR PLAN NOTES

1. SECOND FLOOR CEILING HEIGHT IS 8'-1 1/2" U.N.O.
2. SEE ELEVATIONS FOR WINDOW HEADER HEIGHTS.
3. ALL EXTERIOR WALLS ARE DRAWN AT 4" U.N.O. W/ STUD SPACING AT 16" O.C.
4. ALL INTERIOR WALLS ARE DRAWN AT 3 1/2" U.N.O. W/ STUD SPACING AT 24" O.C. STUD WALLS AT KITCHEN LOCATIONS TO BE SPACED AT 16" O.C.
5. ALL HORIZONTAL AND VERTICAL ACCESS DOORS TO UNCONDITIONED SPACES MUST BE WEATHER-STRIPPED AND INSULATED PER LOCAL BUILDING CODE.

SQUARE FOOTAGE ANALYSIS

HABITABLE AREAS				OTHER AREAS	
SPECIFIED AREA	SF INSIDE OF STUDS	SF OUTSIDE OF STUDS	APPRAISABLE SF	SPECIFIED AREA	SQUARE FOOTAGE
FIRST FLOOR	1226	1276	1276	GARAGE	423
SECOND FLOOR	785	823	823	REAR PATIO/OPT. SCR. PRCH.	120
OPT. BONUS ROOM				PORCH	142
				ATTIC STORAGE (APPROX.)	N/A
				SECOND STORY FOYER	N/A
				2 STORY/REG. ROOM	242
TOTAL SF	2011	2099	2099		

\*\*\*APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE\*\*\*



**BUILDERS**  
PLAN SOURCE  
PO Box 836  
King, North Carolina 27021  
Phone: 336.985.0363

BUILDER: All 4 U Homes, LLC

OWNER:

PLAN NAME: JUSTINE Elevation B

ISSUE DATE: 2020-10-09  
REVISION DATE:

DRAWN BY: BPS  
CHECKED BY:  
STANDARD SCALE: 1/8"=1'-0"  
2264 1/4"=1'-0"

SHEET NUMBER: 4.10

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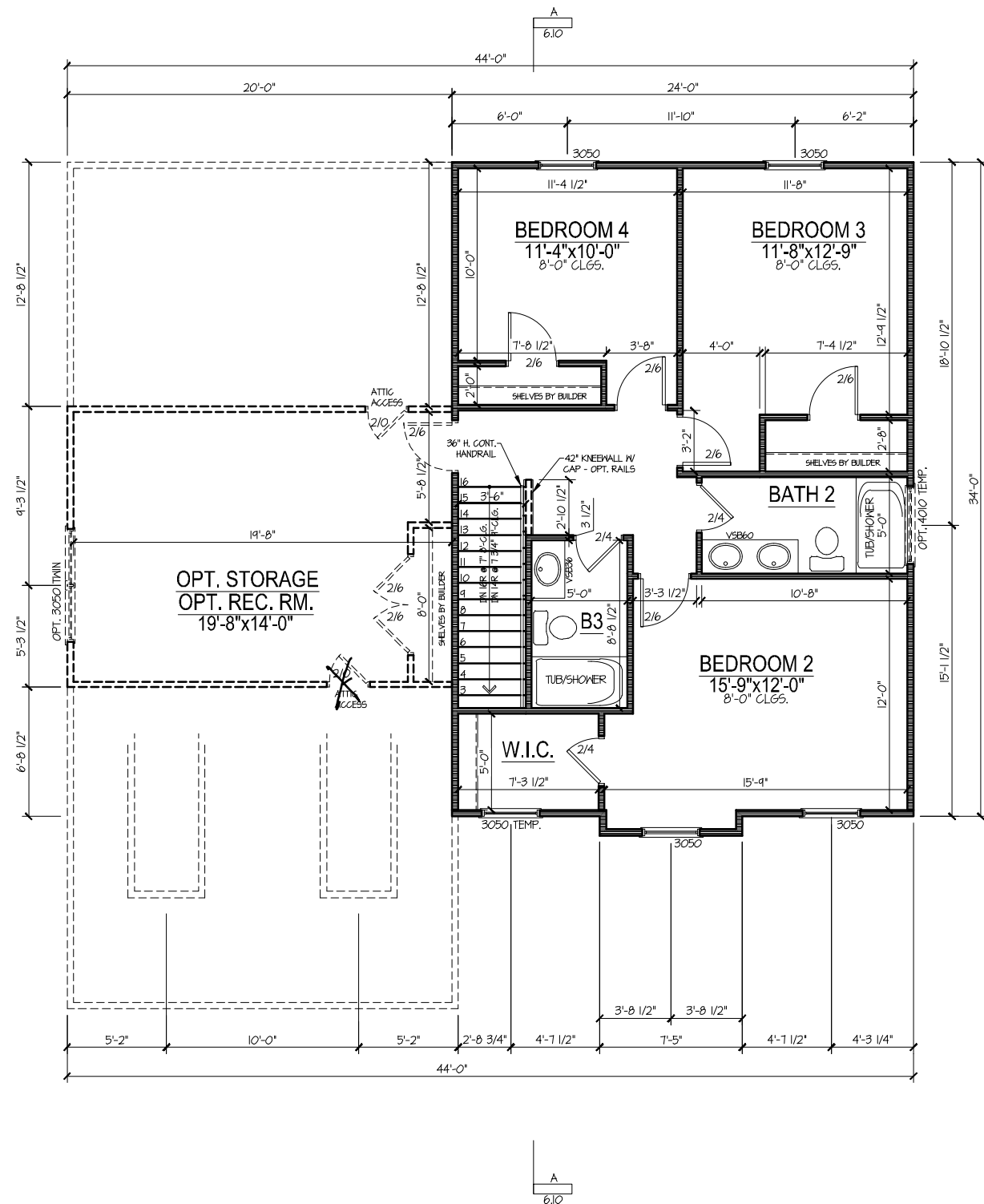
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TOTAL SF	2011	2099	2099		

\*\*\*APPRAISABLE SF INCLUDES BRICK VENEER IF APPLICABLE\*\*\*



BUILDER: All 4 U Homes, LLC

OWNER:

PLAN NAME: JUSTINE Elevation B

ISSUE DATE: 2020-10-09  
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STANDARD SCALE: 1/8"=1'-0"  
2264 1/4"=1'-0"

SHEET NUMBER

4.10

SECOND FLOOR PLAN  
W/ OPT. BEDROOM 4 AND BATH 3

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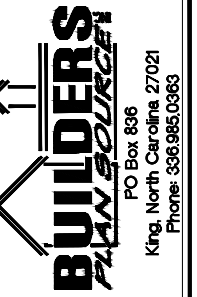
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\* MEAN ROOF HEIGHT: 22'-6"

\* NOTE: ALL ELEVATIONS ARE DRAWN AS SLAB ON GRADE BY DEFAULT. BUILDER MUST ADJUST FOR GRAVEL SPACES OR BASEMENTS & GUARDRAILS AS REQUIRED PER LOCAL CODES.



BUILDER  
 All 4 U Homes, LLC

OWNER:

PLAN NAME:  
 JUSTINE  
 Elevation B

ISSUE DATE:  
 2020-10-09

REVISION DATE:

DRAWN BY:  
 BPS

CHECKED BY:

STANDARD SCALE:  
 1/8"=1'-0"  
 2264: 1/4"=1'-0"

SHEET NUMBER

5.10

FRONT AND REAR ELEVATIONS

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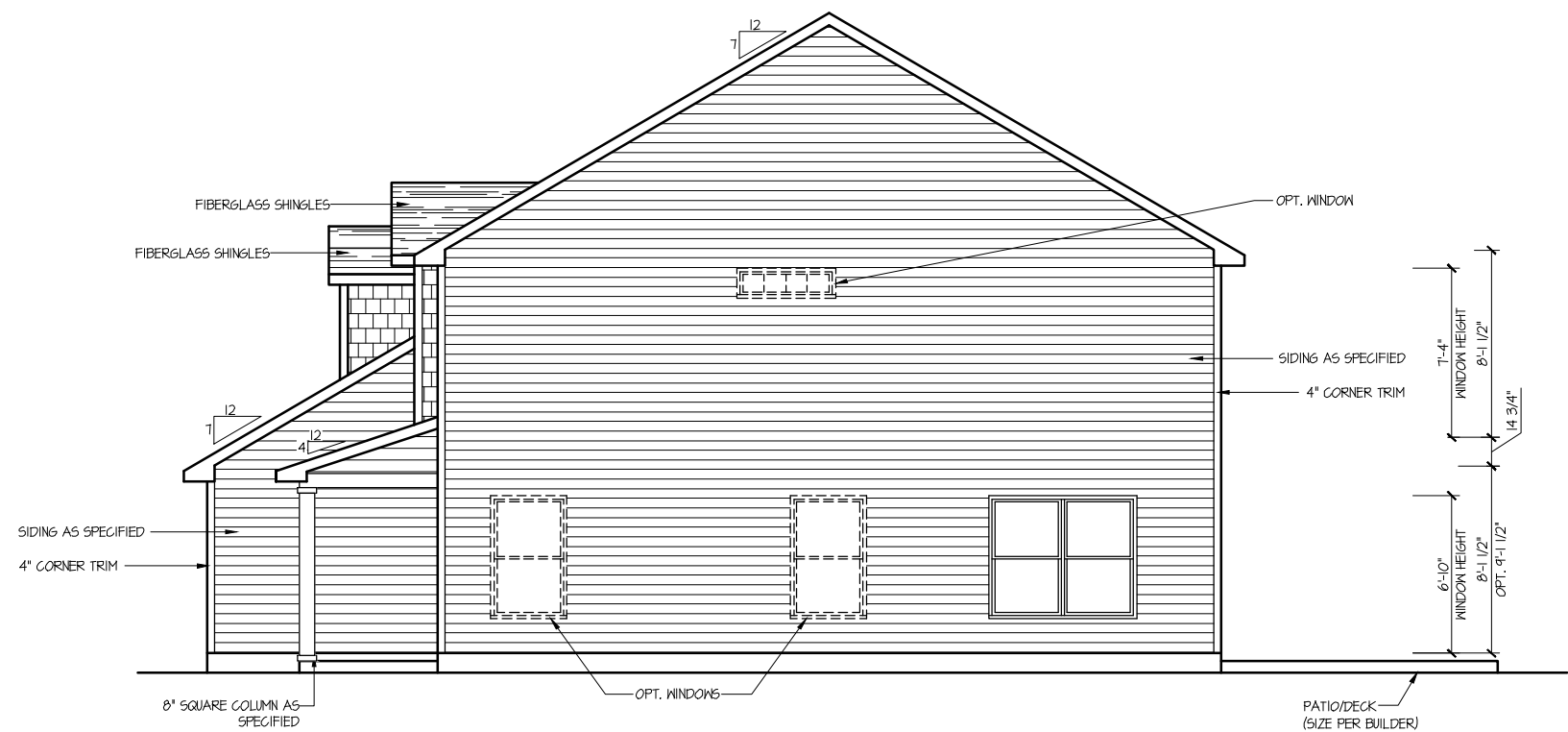
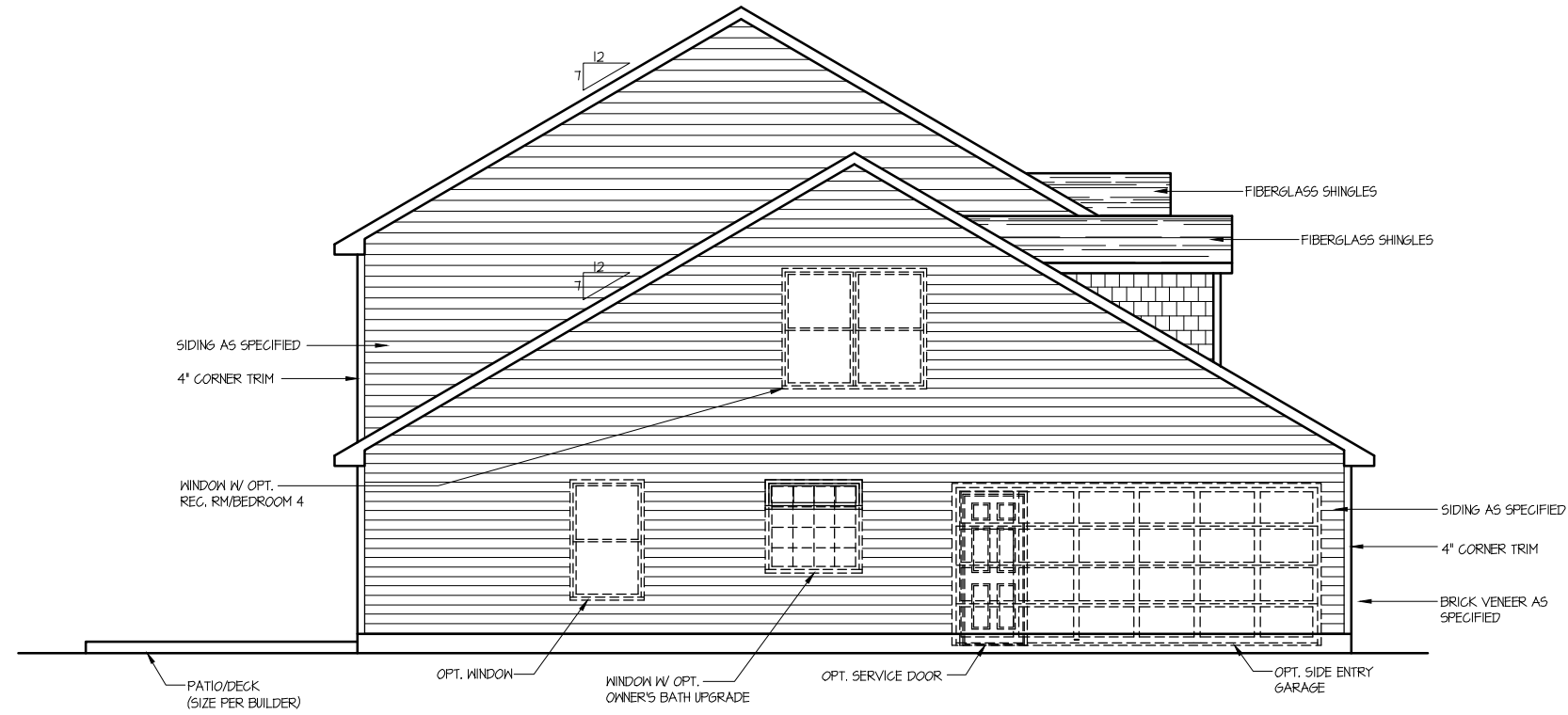
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LEFT AND RIGHT ELEVATIONS

PO Box 836  
King, North Carolina 27021  
Phone: 336.985.0363

BUILDER: All 4 U Homes, LLC

OWNER:

PLAN NAME: JUSTINE Elevation B

ISSUE DATE: 2020-10-09

REVISION DATE:

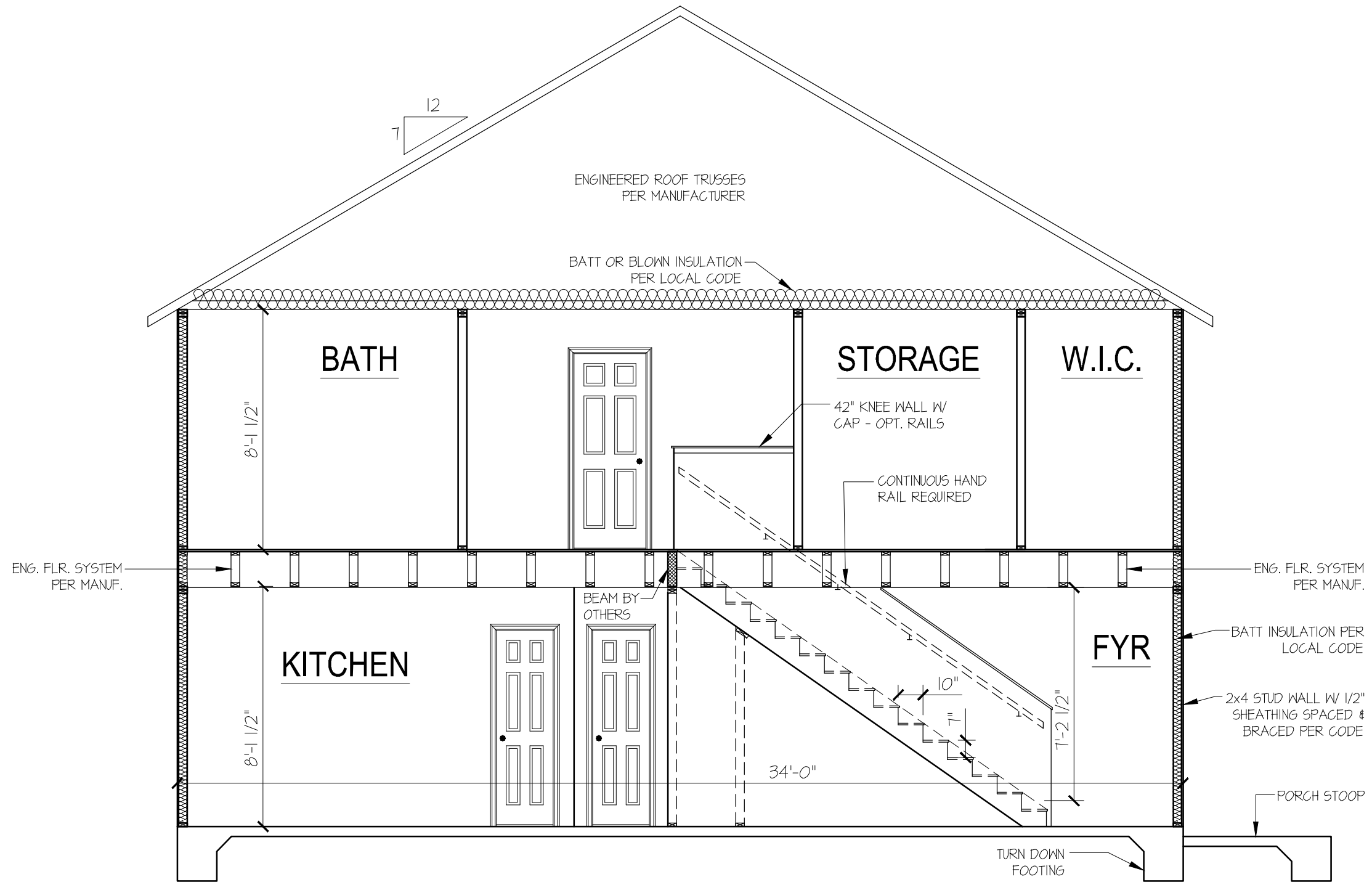
DRAWN BY: BPS

CHECKED BY:

STANDARD SCALE: 1/8"=1'-0" 2264 1/4"=1'-0"

SHEET NUMBER: 5.11

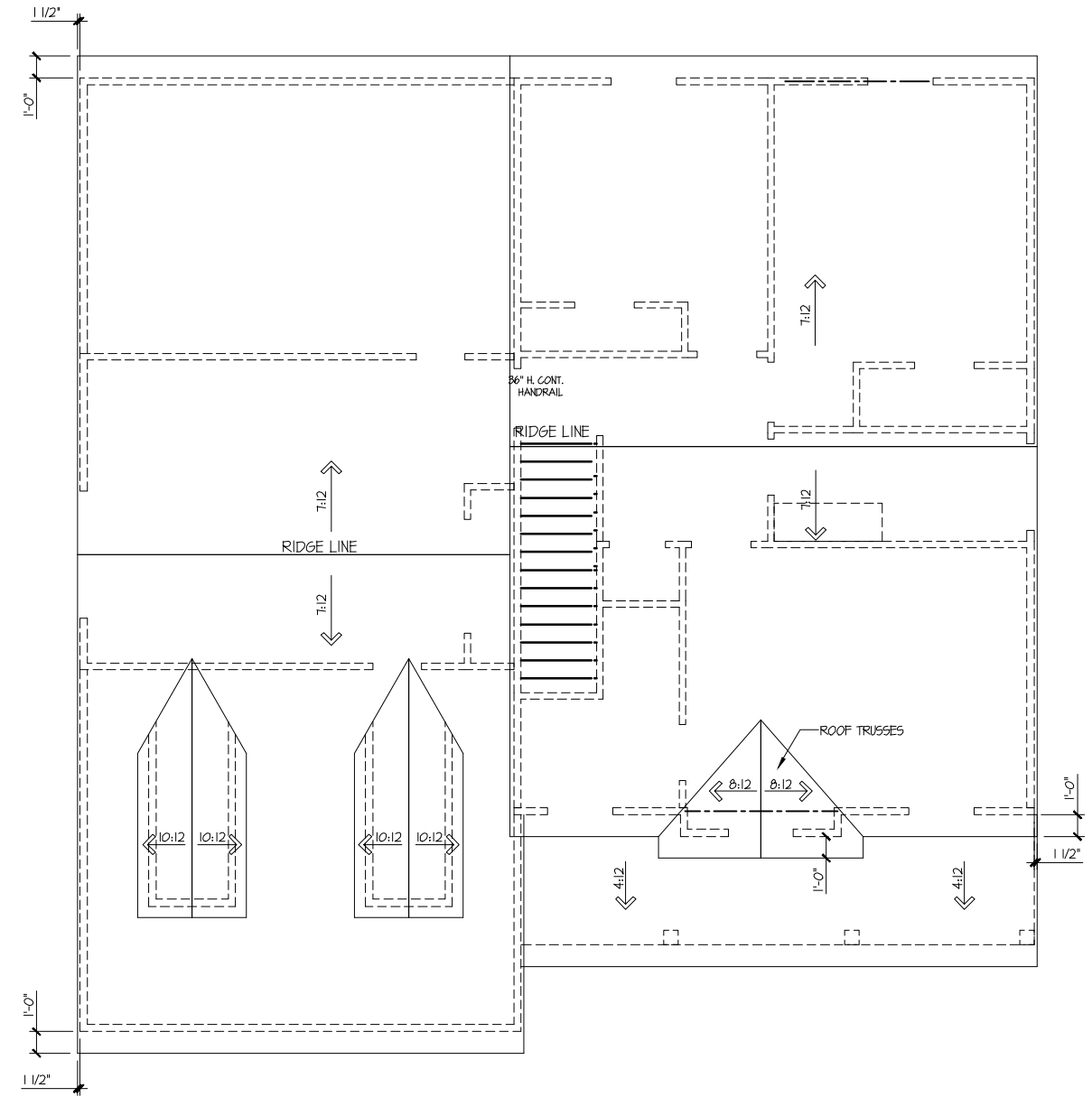




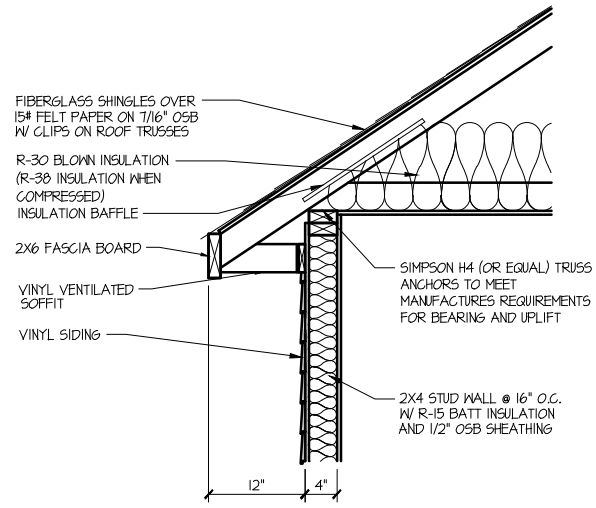
\* NOTE: SECTION IS FOR MAIN HOUSE AREA ONLY. FRONT EXTERIOR WALL COVERINGS, PORCHES, ETC., MAY VARY PER ELEVATION

**BUILDING SECTION**

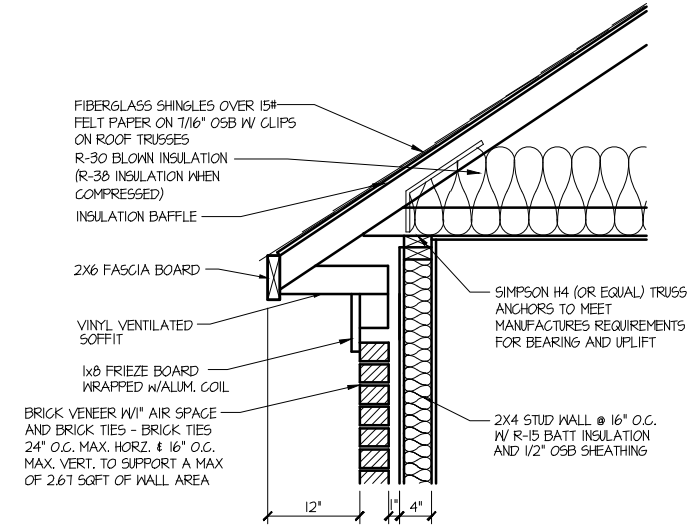
\* NOTE: BUILDING SECTION IS DRAWN AS SLAB ON GRADE BY DEFAULT. BUILDER MUST ADJUST FOR CRAWL SPACES OR BASEMENTS AS REQUIRED PER LOCAL CODES.



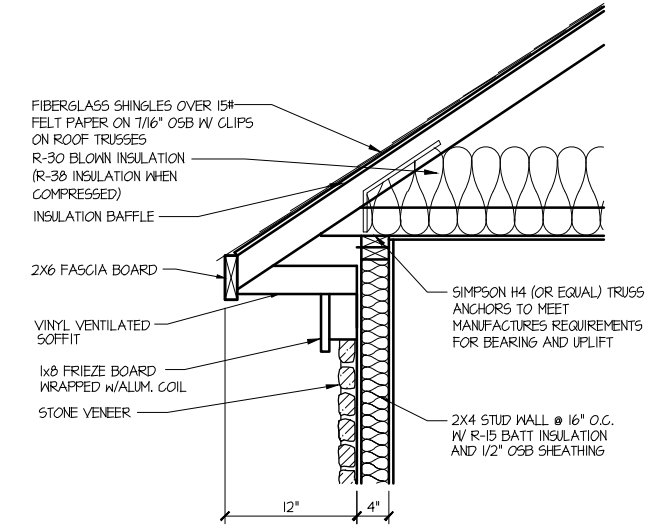
**ATTIC VENTILATION**  
 560 SQ.FT. OF CLG. /300 = 5.2 REQ.  
 RIDGEVENT = .125 SQ.FT. PER FT. 32'-1" x .125 = (4.1)  
 SOFFIT VENT = .062 SQ.FT. PER FT. 13'-4" x .062 = (4.6)  
 TOTAL SQ.FT. VENTILATION PROVIDED (8.7)



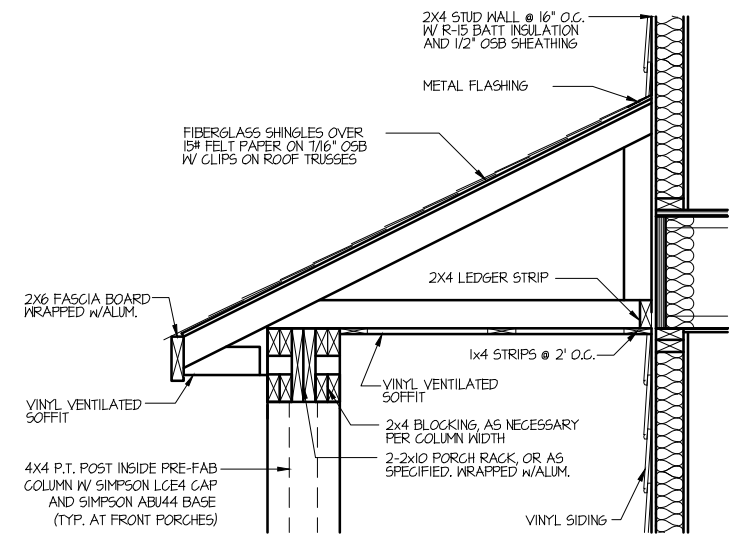
**1 CORNICE W/ SIDING**



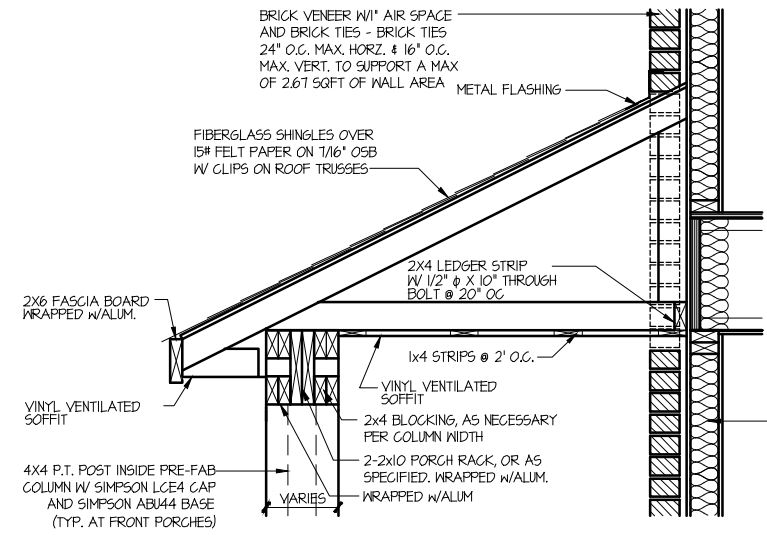
**2 CORNICE W/ BRICK**



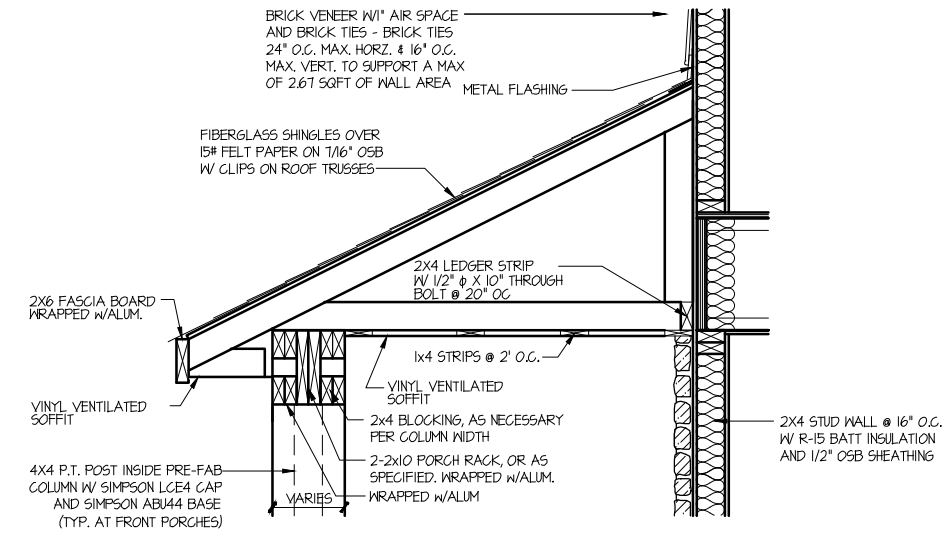
**3 CORNICE W/ STONE**



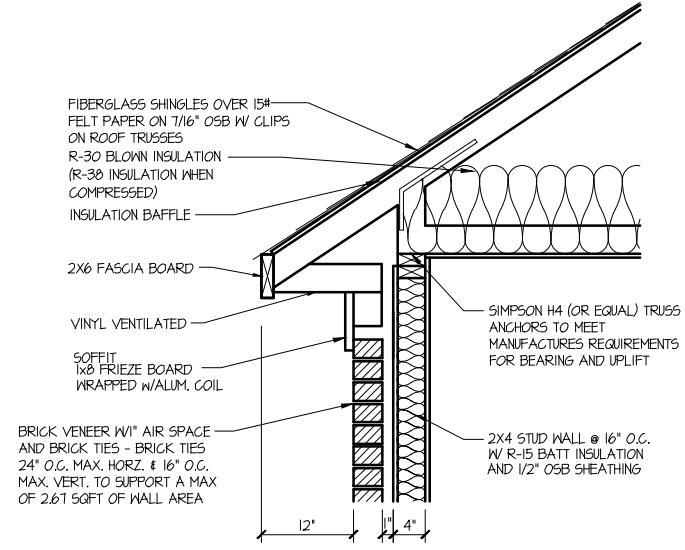
**4 SHED PORCH RACK W/ SIDING**



**5 SHED PORCH RACK W/ BRICK**



**6 SHED PORCH RACK W/ STONE**



**7 CORNICE W/ BRICK & 5\"/>**

**BUILDERS**  
PLAN SOURCE  
PO Box 836  
King, North Carolina 27021  
Phone: 336.985.0363

BUILDER  
**All 4 U Homes, LLC**

OWNER:

PLAN NAME:  
**JUSTINE**  
Elevation B

ISSUE DATE:  
2020-10-09  
REVISION DATE:

DRAWN BY:  
BPS  
CHECKED BY:  
STANDARD SCALE:  
1/8\"/>

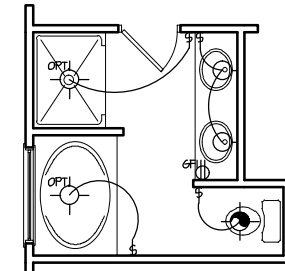
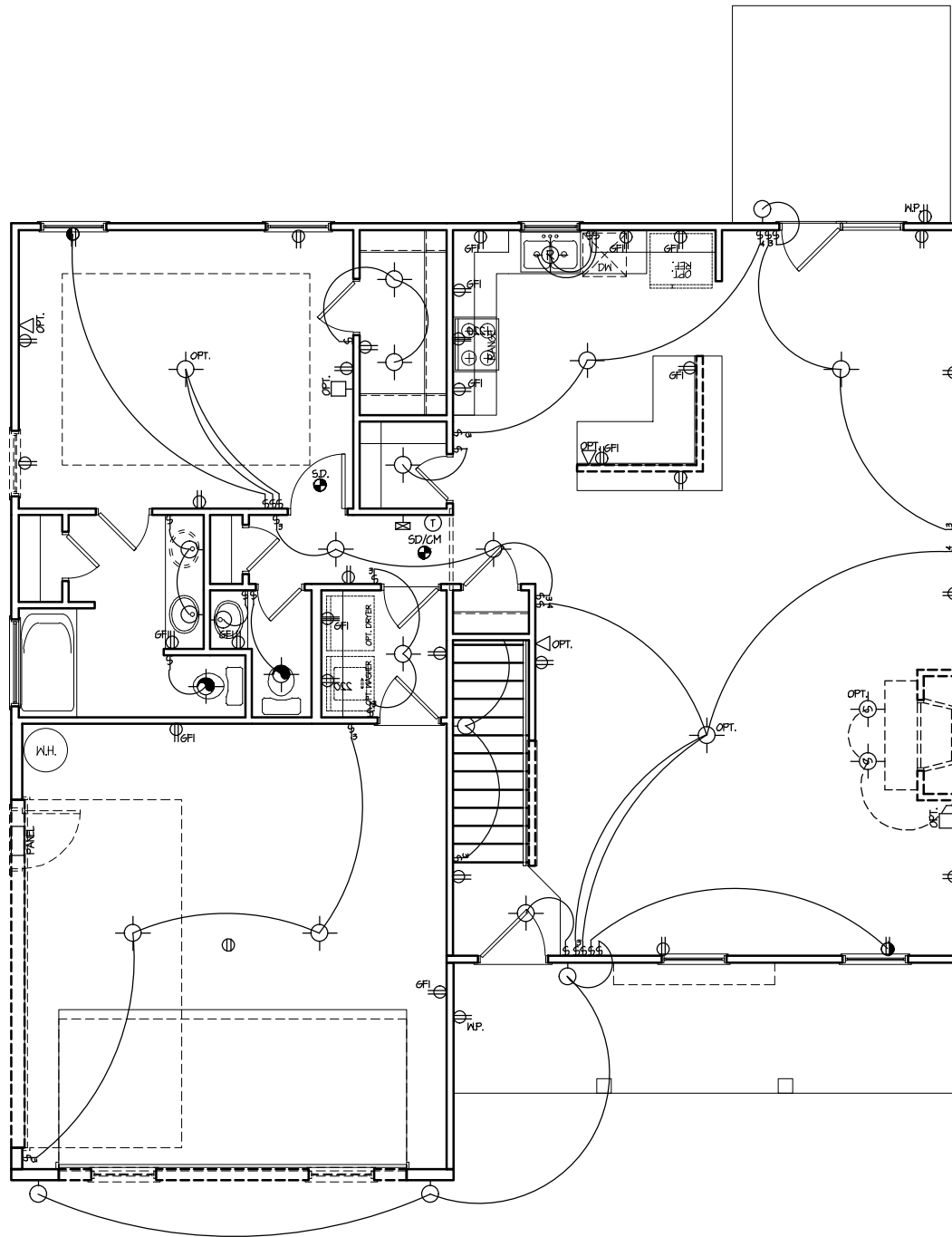
SHEET NUMBER

**7.30**

ELECTRICAL LEGEND	
DESCRIPTION	
⊗	SINGLE POLE SWITCH
⊗	THREE-WAY SWITCH
⊗	FOUR-WAY SWITCH
⊕	DUPLEX RECEPTACLE
⊕	SPLIT-WIRED DUPLEX RECEPTACLE
⊕	WATERPROOF RECEPTACLE
⊕	GROUND FAULT DUPLEX RECEPTACLE
⊕	220 RECEPTACLE
⊕	CEILING DUPLEX RECEPTACLE
⊕	FLOOR DUPLEX RECEPTACLE
☎	TELEPHONE
⊙	CEILING FIXTURE
○	SCONCE/WALL LIGHT
⊙	RECESSED LIGHT
⊙	RECESSED SPOT LIGHT
⊙	CABLE TELEVISION
⊙	SMOKE DETECTOR
⊙	EXHAUST FAN
⊙	EXHAUST FAN W/ LIGHT
⊙	THERMOSTAT
⊙	DOOR CHIME
⊙	ELEG. PANEL BOX
⊙	FLOOD LIGHT
⊙	PANEL

ELECTRICAL LAYOUTS ARE PROVIDED AS A GENERAL GUIDE AND ACTUAL LAYOUT MAY VARY SLIGHTLY. IN ALL CASES THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.

NOTE: OVERHEAD LIGHTS, PHONE OUTLETS, TV CABLE OUTLETS AND RECESSED LIGHTING MAY NOT BE INCLUDED STANDARD BY THE BUILDER. PLEASE CONSULT WITH THE BUILDER TO DETERMINE WHAT APPLICABLE STANDARDS APPLY IN THIS HOME.



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STANDARD SCALE: 1/8"=1'-0"  
2264: 1/4"=1'-0"

SHEET NUMBER: 8.10

FIRST FLOOR  
ELECTRICAL PLAN

ELECTRICAL LEGEND	
DESCRIPTION	
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⊗	FOUR-WAY SWITCH
⊕	DUPLEX RECEPTACLE
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⊕	EXHAUST FAN W/ LIGHT
⊕	THERMOSTAT
⊕	DOOR CHIME
⊕	ELEG. PANEL BOX
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